

JENKS PARK REDEVELOPMENT: PHASE I

CENTRAL FALLS · RHODE ISLAND
CONSTRUCTION DOCUMENTS

SEPTEMBER 19, 2022

PREPARED FOR
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LOCATION MAP

SCALE: 1" = 500'

GENERAL NOTES

- 1. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SHOWN ON THE DRAWINGS TO SCALE OR TO THEIR ACTUAL DIMENSION OR LOCATION. COORDINATE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
2. DO NOT RELY SOLELY ON ELECTRONIC VERSIONS OF DRAWINGS, SPECIFICATIONS, AND DATA FILES THAT ARE PROVIDED BY THE ENGINEER. FIELD VERIFY LOCATION OF PROJECT FEATURES.
3. PERFORM NECESSARY CONSTRUCTION NOTIFICATIONS, APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK AS REQUIRED BY THE CONTRACT DOCUMENTS.
4. BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY NATIONAL SURVEYORS-DEVELOPERS, INC., AND FROM PLANS OF RECORD. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY NATIONAL SURVEYORS-DEVELOPERS, INC. DURING 12-14-2021.
5. TOPOGRAPHIC ELEVATIONS ARE BASED ON NAVD 1983 VIA GPS EQUIPMENT.
6. WHEN CONSTRUCTION SEQUENCE ALLOWS, COORDINATE AND COMBINE ALL ARCHITECTURAL REVIEWS FOR MINIMAL SITE VISITS BY LANDSCAPE ARCHITECT.

WORK RESTRICTIONS

- 1. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, FIRE HYDRANTS, AND UTILITIES WITHOUT APPROPRIATE PERMITS.
2. WORK IS RESTRICTED TO THE HOURS AS DETERMINED BY THE CITY OF CENTRAL FALLS.

REGULATORY REQUIREMENTS

- 1. WITHIN LOCAL RIGHTS-OF-WAY, PERFORM THE WORK IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARDS.
2. WITHIN STATE RIGHTS-OF-WAY, PERFORM THE WORK IN ACCORDANCE WITH THE LATEST EDITION OF THE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS AND ISSUED REVISIONS/SUPPLEMENTS.
3. PROVIDE TRAFFIC SIGNAGE AND PAVEMENT MARKINGS IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
4. BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. PERFORM CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
5. SECURE THE CONSTRUCTION SITE. A 6' HT TEMPORARY SECURITY FENCE SHALL BE INSTALLED IN ALL LOCATIONS NECESSARY ALONG WITH LOCKABLE GATE AT ALL EXISTING OPENINGS TO THE CONSTRUCTION AREA. ENSURE AREA IS SECURED AND LOCKED DOWN AT END OF EACH DAY.
6. DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

EROSION AND SEDIMENT CONTROL

- 1. INSTALL EROSION CONTROL MEASURES PRIOR TO STARTING ANY WORK ON THE SITE. REFER TO THE EROSION AND SEDIMENT CONTROL DRAWINGS.
2. IMPLEMENT ALL NECESSARY MEASURES REQUIRED TO CONTROL STORMWATER RUNOFF, DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE. PERFORM CORRECTIVE ACTION AS NEEDED FOR EROSION CLEANUP AND REPAIRS TO OFF SITE AREAS, IF ANY, AT NO COST TO OWNER.
3. INSPECT AND MAINTAIN EROSION CONTROL MEASURES PER THE SCHEDULE IN THE EROSION AND SEDIMENT CONTROL DRAWINGS. DISPOSE OF SEDIMENT IN AN UPLAND AREA. DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
4. PERFORM CONSTRUCTION SEQUENCING IN SUCH A MANNER TO CONTROL EROSION AND TO MINIMIZE THE TIME THAT EARTH MATERIALS ARE EXPOSED BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED.
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, REMOVE AND DISPOSE OF TEMPORARY EROSION CONTROL MEASURES, CLEAN SEDIMENT AND DEBRIS FROM TEMPORARY MEASURES AND FROM PERMANENT STORM DRAIN AND SANITARY SEWER SYSTEMS.
6. CONSTRUCTION STANDARDS - CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MOST RECENT EDITION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK". ALL MEASURES SHALL BE MAINTAINED AND UPGRADED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION.
7. PLAN IMPLEMENTATION - IMPLEMENT THIS EROSION AND SEDIMENT CONTROL PLAN. THIS IMPLEMENTATION INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES UNTIL PERMANENT STABILIZATION IS ACHIEVED, INFORMING ALL SUBCONTRACTORS OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE PROPER MUNICIPAL AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY. THE OWNER SHALL BE RESPONSIBLE FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN TO THE NEW OWNER IF THE TITLE OF THE LAND IS TRANSFERRED PRIOR TO ACHIEVING PERMANENT STABILIZATION.
8. INSTALLATION SCHEDULE - INSTALL THE CONSTRUCTION ENTRANCE BEFORE CONSTRUCTION TRAFFIC INTO AND OUT OF THE PROJECT AREA BEGINS. INSTALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO STUMP REMOVAL AND CONSTRUCTION. INSTALL ADDITIONAL CONTROL MEASURES DURING THE CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE OWNER, HIS AGENTS OR AGENTS OF THE MUNICIPALITY.
9. FUGITIVE DUST - CONTROL FUGITIVE DUST USING WATER SPRAYS OR CALCIUM CHLORIDE ON SOIL SURFACES, SWEEPING PAVED AREAS, TEMPORARY WINDBREAKS OR NON-ASPHALTIC SOIL TACKIFIERS.
10. STRAW BALE LIFE SPAN - INSTALL STRAW BALES WHERE PROTECTION AND EFFECTIVENESS IS REQUIRED FOR LESS THAN 90 DAYS. OTHERWISE, INSTALL SILT FENCE.
11. CATCH BASINS - PROTECT CATCH BASINS WITH PROPER CONTROLS THROUGHOUT THE CONSTRUCTION PERIOD UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
12. STOCKPILES - ENIRCLE STOCKPILES OF ERODIBLE SOIL WITH A STRAW BALE OR SILT FENCE BARRIER. THE SIDE SLOPES OF ERODIBLE STOCKPILED MATERIAL SHALL BE NO STEEPER THAN 2:1. STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER THEY ARE FORMED.
13. TOE OF SLOPE - ESTABLISH AN EROSION CONTROL BARRIER (SILT FENCE OR STRAW BALE BARRIER) APPROXIMATELY 5 TO 10 FEET FROM THE PROPOSED TOE OF THE CUT OR FILL AREA PRIOR TO BEGINNING EARTHWORK.
14. SEDIMENT REMOVAL - SEDIMENT REACHING 1/2 THE HEIGHT OF THE EROSION CONTROL BARRIER SHALL BE REMOVED. REMOVE AND DISPOSE OF SEDIMENT IN A MANNER CONSISTENT WITH THE INTENT OF THE PLAN.
15. SOIL STABILIZATION SCHEDULE - APPLY PERMANENT SOIL STABILIZATION MEASURES TO ALL GRADED AREAS WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE. APPLY TEMPORARY SOIL STABILIZATION MEASURES IF FINAL GRADING IS TO BE DELAYED MORE THAN 30 DAYS.
16. TEMPORARY SEEDING - TEMPORARILY SEED ERODIBLE SOILS THAT WILL BE EXPOSED GREATER THAN 1 BUT LESS THAN 12 MONTHS WITHIN THE FIRST 7 DAYS OF SUSPENDING GRADING OPERATIONS. APPLY LIME AT A RATE OF 90 LBS/1000 SQ. FT. APPLY 10-10-10 FERTILIZER AT A RATE OF 7 1/2 LBS/1000 SQ. FT. APPLY PERENNIAL RYE GRASS AT A RATE OF 2 LBS/1000 SQ. FT. TO A DEPTH OF 1/2 INCH. OPTIMUM SEEDING DATES ARE MARCH 15 TO JULY 1 AND AUGUST 1 TO OCTOBER 15. MULCH FOR SEED APPLIED WITHIN THE OPTIMUM SEEDING DATES SHALL BE APPLIED EVENLY SUCH THAT IT PROVIDES 80%-95% SOIL COVERAGE. MULCH FOR SEED APPLIED OUTSIDE OF THE OPTIMUM SEEDING DATES SHALL BE APPLIED EVENLY SUCH THAT IT PROVIDES 95%-100% COVERAGE.
17. PERMANENT SEEDING - SEED PERMANENT LAWN AREAS IN ACCORDANCE WITH THE SPECIFICATIONS.

DEMOLITION

- 1. CONDUCT ALL DEMOLITION AND SITE PREPARATION NECESSARY FOR THE COMPLETION OF NEW WORK.
2. EXISTING CONDITIONS AS SHOWN ARE APPROXIMATE AND ARE NOT NECESSARILY SHOWN TO THEIR ACTUAL SCALE, DIMENSION OR LOCATION. VERIFY THE LOCATION OF EXISTING CONDITIONS WITHIN THE CONTRACT LIMIT LINE INCLUDING BUT NOT LIMITED TO WALKS, TREES, FENCING, UTILITIES, STRUCTURES, ETC. REPORT TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION ANY CONFLICTS THAT WILL IMPEDE CONSTRUCTION, INCREASE COST TO OWNER OR RESULT IN PERMANENT DAMAGE TO EXISTING SITE AMENITIES.
3. INSTALL TREE PROTECTION TO THE LIMITS OF THE EXISTING DRIP LINE. NO CONSTRUCTION ACTIVITIES OF ANY KIND SHALL OCCUR WITHIN TREE PROTECTION LIMITS UNLESS OTHERWISE NOTED. THIS INCLUDES BUT IS NOT LIMITED TO MATERIAL STOCKPILING, CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE, CONSTRUCTION MOBILIZATION AND/OR VEHICLE PARKING. IF CONSTRUCTION ACTIVITIES MUST OCCUR WITHIN THE DRIP LINE THEY MUST BE DONE SO BY NON MECHANICAL MEANS TO AVOID DAMAGE TO THE EXISTING TREE ROOTS AND COMPACTION OF THE EXISTING SOIL.
4. ROOT PRUNE, DEEP ROOT FEED AND FERTILIZE ALL EXISTING TREES TO REMAIN. ALL COMPENSATORY PRUNING AND FERTILIZING OF TREES SHALL BE PERFORMED BY LICENSED ARBORIST.

EARTHWORK

- 1. NOTIFY UTILITY LOCATOR SERVICE AT LEAST 72 HOURS BEFORE STARTING EXCAVATION.

IMPORTANT NOTE:
THE LOCATIONS OF SHOWN UNDERGROUND UTILITIES ARE APPROXIMATE. ADDITIONAL UTILITIES MAY EXIST. PRIOR TO ANY EXCAVATION OR CONSTRUCTION CONTACT - "DIG SAFE" DIAL 811

- 2. STOP WORK IN THE VICINITY OF SUSPECTED CONTAMINATED SOIL, GROUNDWATER OR OTHER MEDIA. IMMEDIATELY NOTIFY THE OWNER SO THAT APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN. RESUME WORK IN THE IMMEDIATE VICINITY ONLY UPON DIRECTION BY THE OWNER.

CONSTRUCTION LAYOUT

- 1. PROVIDE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS. FIELD VERIFY EXISTING PAVEMENT AND GROUND ELEVATIONS AT THE INTERFACE WITH PROPOSED PAVEMENTS AND DRAINAGE STRUCTURES BEFORE START OF CONSTRUCTION.
2. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, FIELD VERIFY PROPOSED UTILITY ROUTES AND IDENTIFY ANY INTERFERENCES OR OBSTRUCTIONS WITH EXISTING UTILITIES OR PUBLIC RIGHTS-OF-WAY.
3. IMMEDIATELY INFORM THE LANDSCAPE ARCHITECT IN WRITING IF EXISTING UTILITY CONDITIONS CONFLICT OR DIFFER FROM THAT INDICATED AND IF THE WORK CANNOT BE COMPLETED AS INDICATED.
4. DIMENSIONS ARE FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS NOTED OTHERWISE.
5. BOUNDS OR MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
6. DIMENSIONS NOTED AS +/- ARE CHECK DIMENSIONS. DO NOT USE CHECK DIMENSIONS TO PERFORM INITIAL LAYOUT OF NEW WORK. FOLLOWING INITIAL LAYOUT, USE CHECK DIMENSIONS TO VERIFY DISTANCES SHOWN. REPORT DISCREPANCIES OF 5% OR MORE FROM CHECK DIMENSIONS TO ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.

UTILITIES

- 1. TERMINATE EXISTING UTILITIES IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. COORDINATE UTILITY SERVICE DISCONNECTS WITH UTILITY REPRESENTATIVES.
2. THE TYPE, SIZE AND LOCATION OF DEPICTED UNDERGROUND UTILITIES ARE APPROXIMATE REPRESENTATIONS OF INFORMATION OBTAINED FROM FIELD LOCATIONS OF VISIBLE FEATURES, EXISTING MAPS AND PLANS OF RECORD, UTILITY MAPPING, AND OTHER SOURCES OF INFORMATION OBTAINED BY THE ENGINEER. ASSUME NO GUARANTEE AS TO THE COMPLETENESS, SERVICEABILITY, EXISTENCE, OR ACCURACY OF UNDERGROUND FACILITIES. FIELD VERIFY THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES.
3. PAY ALL FEES AND COSTS ASSOCIATED WITH UTILITY MODIFICATIONS AND CONNECTIONS, REGARDLESS OF THE ENTITY THAT PERFORMS THE WORK.
4. COORDINATE THE WORK AND WORK SCHEDULE WITH UTILITY COMPANIES. PROVIDE ADEQUATE NOTICE TO UTILITIES TO PREVENT DELAYS IN CONSTRUCTION.
5. INTERIOR DIAMETERS OF STORM DRAIN AND SANITARY SEWER STRUCTURES SHALL BE DETERMINED BY THE PRECAST MANUFACTURER, BASED ON THE INDICATED PIPE SYSTEM LAYOUT AND LOCAL MUNICIPAL STANDARDS.
MINIMUM INTERIOR DIAMETERS:
0 TO 20 FEET DEEP: 4 FEET.
20 FEET OR GREATER: 5 FEET.
6. RIM ELEVATIONS FOR MANHOLES, VALVE COVERS, GATE AND PULL BOXES, AND OTHER STRUCTURES ARE APPROXIMATE. SET OR RESET RIM ELEVATIONS AS FOLLOWS:
IN PAVEMENTS AND CONCRETE SURFACES: FLUSH
IN SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
IN LANDSCAPE, SEEDED, AND OTHER EARTH SURFACES AREAS: 1 INCH ABOVE SURROUNDING AREA; TAPER EARTH TO RIM ELEVATION.
7. INSTALL PROPOSED PRIVATE UTILITY SERVICES ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY THE AUTHORITY HAVING JURISDICTION (WATER, SEWER, GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). COORDINATE FINAL DESIGN LOADS AND LOCATIONS WITH OWNER AND ARCHITECT.

SITE RESTORATION

- 1. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO TOPSOILING, GRADING & SEEDING, LAWN / LANDSCAPED AREAS USED FOR CONSTRUCTION ACCESS AND EQUIPMENT MOVEMENTS SHALL BE DECOMPACTED TO A DEPTH OF 12" OR AS DEEP AS TO NOT DISTURB EXISTING ROOT SYSTEMS. DECOMPACT SOIL MANUALLY, BREAKING COMPACTED SOIL INTO PIECES NO LARGER THAN 2". RAKE AND REMOVE STONES, LOOSE ROOTS AND OTHER DEBRIS PRIOR TO PLACEMENT OF TOPSOIL.
2. UNLESS OTHERWISE NOTED PROVIDE 6 INCHES OF TOPSOIL AND SEED TO AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED TO BE RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.). ALL LAWN / LANDSCAPED AREAS THAT ARE DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE SEEDED WITH GENERAL LAWN SEED MIX.
3. REPAIR DAMAGES RESULTING FROM CONSTRUCTION LOADS, AT NO ADDITIONAL COST TO OWNER.
4. RESTORE AREAS DISTURBED BY CONSTRUCTION OPERATIONS TO THEIR ORIGINAL CONDITION OR BETTER, AT NO ADDITIONAL COST TO OWNER.

PLANTING

- 1. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO A.A.N. STANDARDS.
2. SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
3. ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE BY THE CONTRACTOR FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE MOVED WILL BE DONE AT THE CONTRACTORS EXPENSE.
4. PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
5. ALL SHRUB MASSINGS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
6. BE RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGED MATERIAL, AT HIS OWN EXPENSE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 1-888-344-7233 PRIOR TO CONSTRUCTION.
7. ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL 12" DEEP. ALL SOO AND HYDROSEED AREAS SHALL HAVE A MINIMUM TOPSOIL BED OF 6".
8. BE RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
9. FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.
10. ALL EXISTING RILL, GULLY OR CHANNEL EROSION SHALL BE FILLED WITH APPROPRIATE BACKFILL MATERIAL, FINE RAKED, SCARIFIED AND STABILIZED WITH APPROPRIATE VEGETATIVE MATERIAL AND / OR APPROPRIATE SEDIMENTATION AND EROSION CONTROL MEASURES.
11. ADJUSTMENTS IN THE LOCATION OF THE PROPOSED PLANT MATERIAL AS A RESULT OF EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
12. BE RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL, AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
13. PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND / OR LAWN SEEDED OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
14. UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITION ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
15. SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS EXISTING VEGETATION TO REMAIN WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY L.A. PRIOR TO CLEARING OPERATIONS.
16. RESEED ALL DISTURBED AREAS.
17. WARRANTY PLANTING MATERIAL FROM 1 YEAR AT TIME OF ACCEPTANCE BY OWNER.

SOIL EROSION AND SEDIMENT CONTROL

- 1. THE CONTRACTOR SHALL FOLLOW THE SITE-SPECIFIC SESC PLAN, HIGHWAY PLAN, SITE PREPARATION PLAN, EROSION AND SEDIMENT CONTROL SPECIFICATION, AS WELL AS RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK IN CONSTRUCTING THE EROSION AND SEDIMENT CONTROLS INDICATED ON THE PLANS. ALL EROSION AND SEDIMENT CONTROL MEASURES OR WORKS AND REHABILITATION MEASURES MUST CONFORM TO OR EXCEED THESE REQUIREMENTS.
2. THE TIMELY INSTALLATION, INSPECTION, AND MAINTENANCE/REPLACEMENT OF SEDIMENT AND EROSION CONTROL DEVICES TO ENSURE PROPER OPERATION AND PERMIT COMPLIANCE IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL CONSTRUCTION OF THE PROJECT IS COMPLETE AND ACCEPTED BY THE OWNER. THE OWNER IS RESPONSIBLE THEREAFTER. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONTINUE TO BE MAINTAINED IN EFFECTIVE CONDITION UNTIL SITE STABILIZATION.
3. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE PLAN, OR AS DIRECTED BY THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND LOCAL MUNICIPALITY, OR AS MAY BE REQUIRED TO PREVENT SEDIMENT FLOW TO STORM DRAINS OR SURFACE WATERS.

SOIL EROSION AND SEDIMENT CONTROL INSPECTION

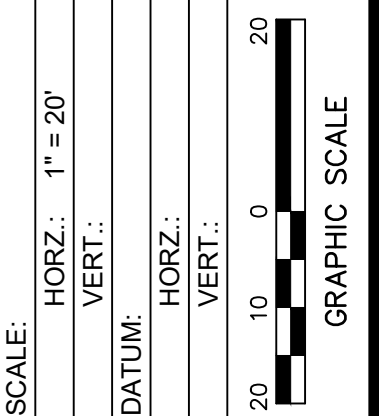
- 1. A SITE-SPECIFIC SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC PLAN) HAS BEEN PREPARED TO PROVIDE GUIDANCE ON COMPLIANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL HANDBOOK. HOWEVER, INSPECTION REPORTS AND CORRECTIVE ACTION LOGS ARE NOT REQUIRED AS THE PROJECT IS NOT COVERED UNDER THE RIDES PROGRAM.

SPILL PREVENTION AND RESPONSE PROCEDURE

- 1. ANY INADVERTENT OR DELIBERATE DISCHARGE OF WASTE OIL OR ANY OTHER POLLUTANT TO THE STORMWATER DISPOSAL SYSTEM (I.E. INFILTRATION BEST MANAGEMENT PRACTICES, OR CLOSED-CONDUIT DRAINAGE SYSTEM THAT DISCHARGES TO MUNICIPAL SEPARATE STORM SEWER SYSTEM OR WATER BODY) REQUIRES IMMEDIATE NOTIFICATION TO THE RIDEM OIL POLLUTION CONTROL PROGRAM AT (401) 277-2284, AS PER THE OIL POLLUTION CONTROL REGULATIONS. DURING NON-WORKING HOURS, NOTIFICATION OF SPILLS CAN BE MADE TO THE RIDEM DIVISION OF ENFORCEMENT AT (401) 222-3070 (THE 24-HOUR EMERGENCY RESPONSE PHONE NUMBER).
2. ANY INCIDENT OF GROUNDWATER CONTAMINATION RESULTING FROM THE IMPROPER DISCHARGE OF POLLUTANTS TO THE STORMWATER DISPOSAL SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AS WELL AS ANY OTHER PARTIES THAT THE RIDEM DETERMINES TO BE RESPONSIBLE FOR THE CONTAMINATION. PURSUANT TO STATE LAWS AND REGULATIONS, THE RIDEM MAY REQUIRE THE PROPERTY OWNER AND OTHER RESPONSIBLE PARTIES TO REMEDIATE ANY INCIDENTS THAT MAY ADVERSELY IMPACT GROUNDWATER QUALITY.
3. UPON TRANSFER OF THE PROPERTY, THE NEW OWNER SHALL BE INFORMED AS TO THE LEGAL RESPONSIBILITIES ASSOCIATED WITH DISPOSAL SYSTEM, AS INDICATED ABOVE.
4. THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMEDIATE INCIDENTS THAT ADVERSELY IMPACT GROUNDWATER QUALITY.

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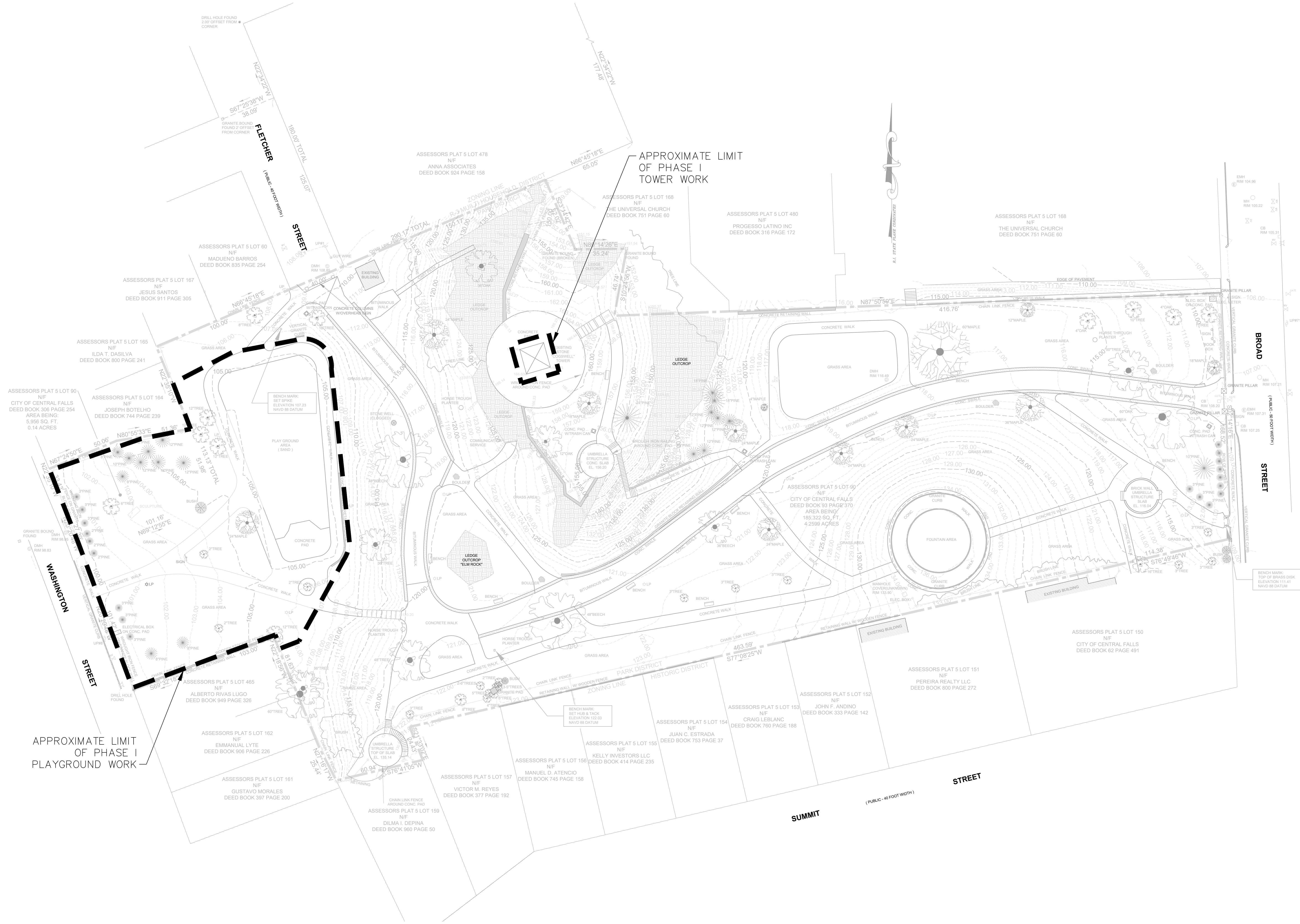


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CITY OF CENTRAL FALLS
GENERAL NOTES & LEGEND
JENKS PARK REDEVELOPMENT
PHASE I
CENTRAL FALLS RHODE ISLAND

PROJ. No.: 20170811.A51
DATE: 09/19/2022

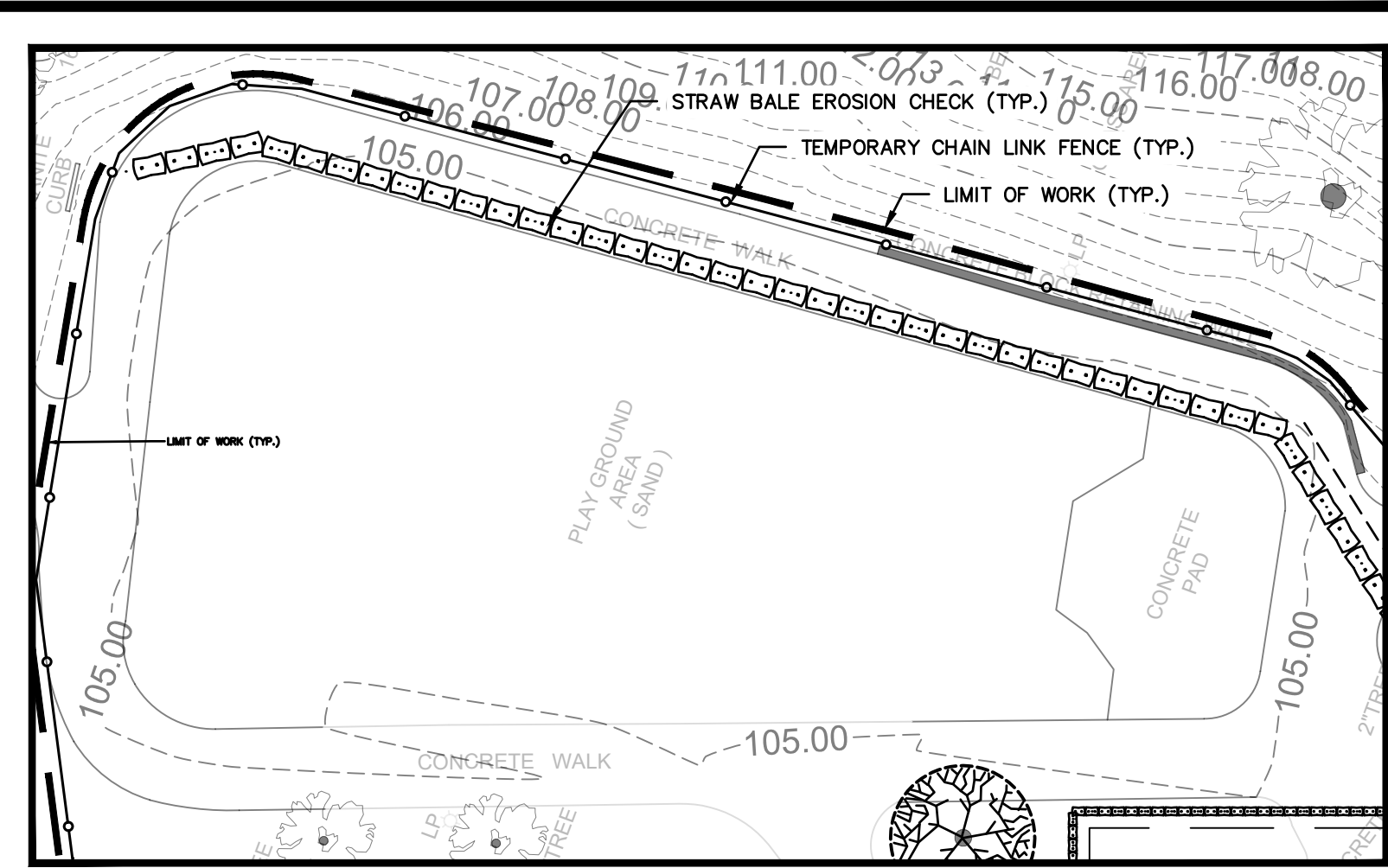
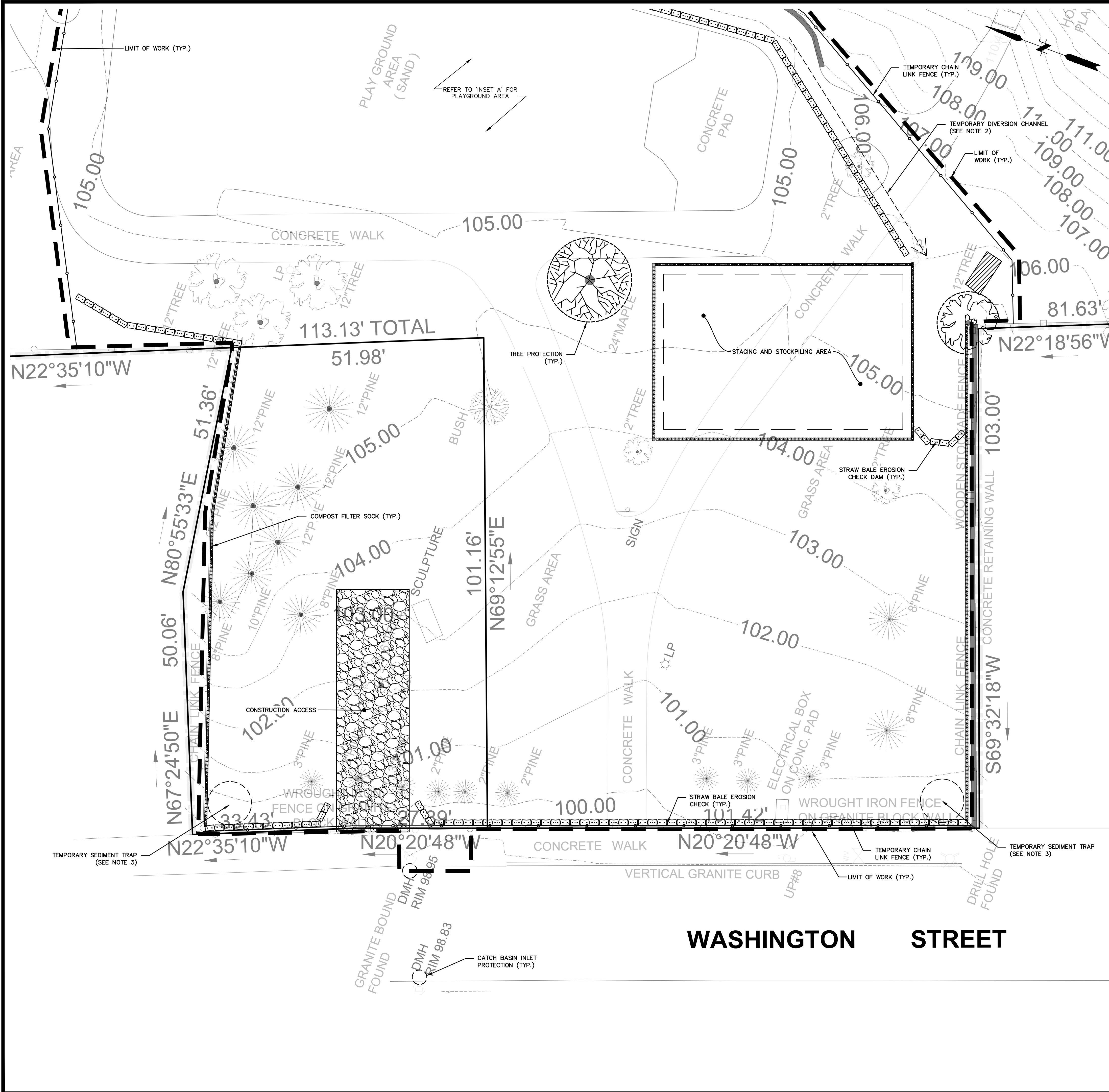
CN-001



APPROXIMATE LIMIT OF PHASE I PLAYGROUND WORK

APPROXIMATE LIMIT OF PHASE I TOWER WORK

<p>SCALE: HORIZ.: 1" = 30' VERT.: 1" = 10' DATUM: NAVD 83 HORIZ.: 1" = 30' VERT.: 1" = 10' GRAPHIC SCALE</p>											
<p>FUSS & O'NEILL 146 HARTFORD ROAD WESTPORT, CONNECTICUT 06480 www.fussandoneill.com</p>											
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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER							



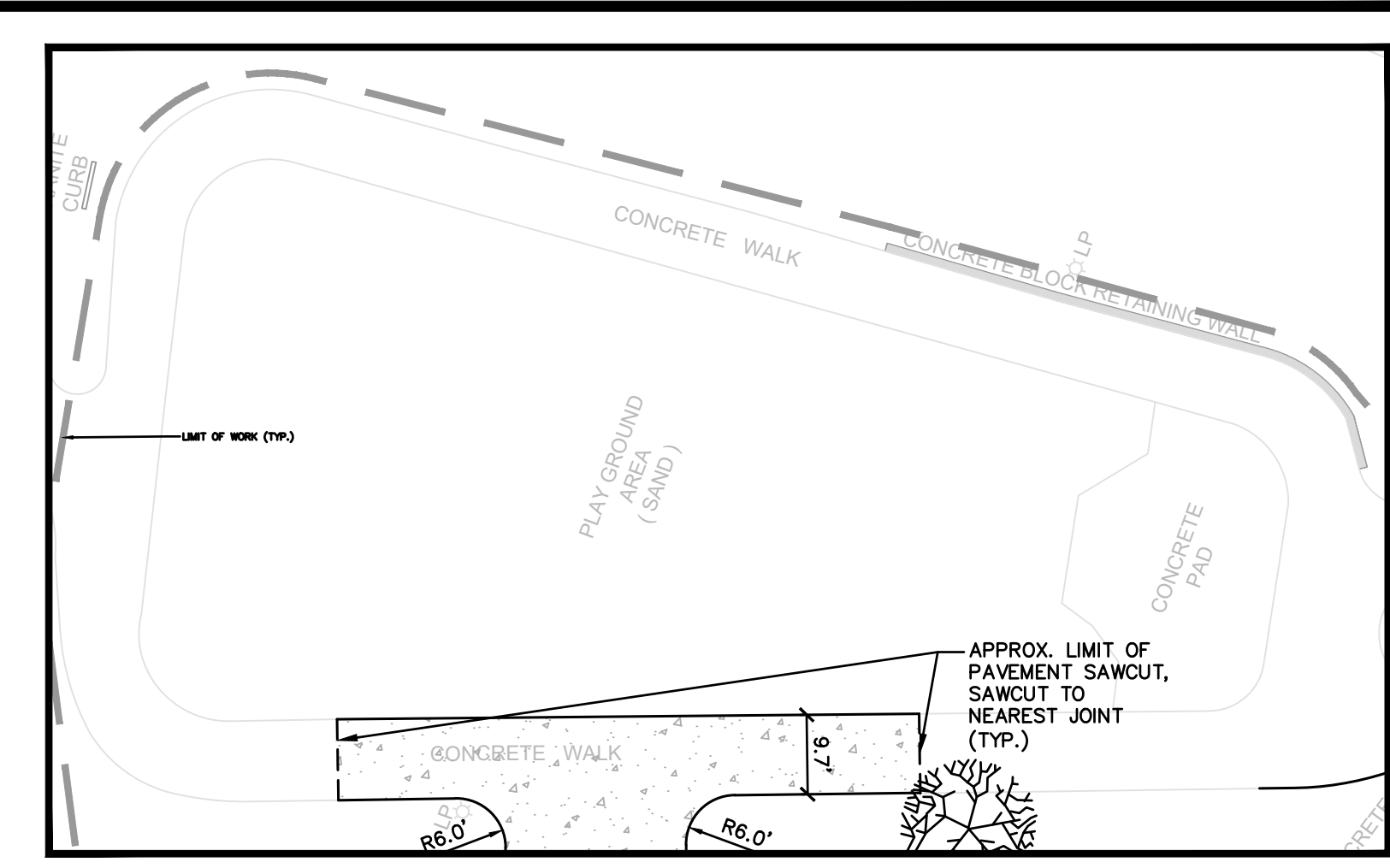
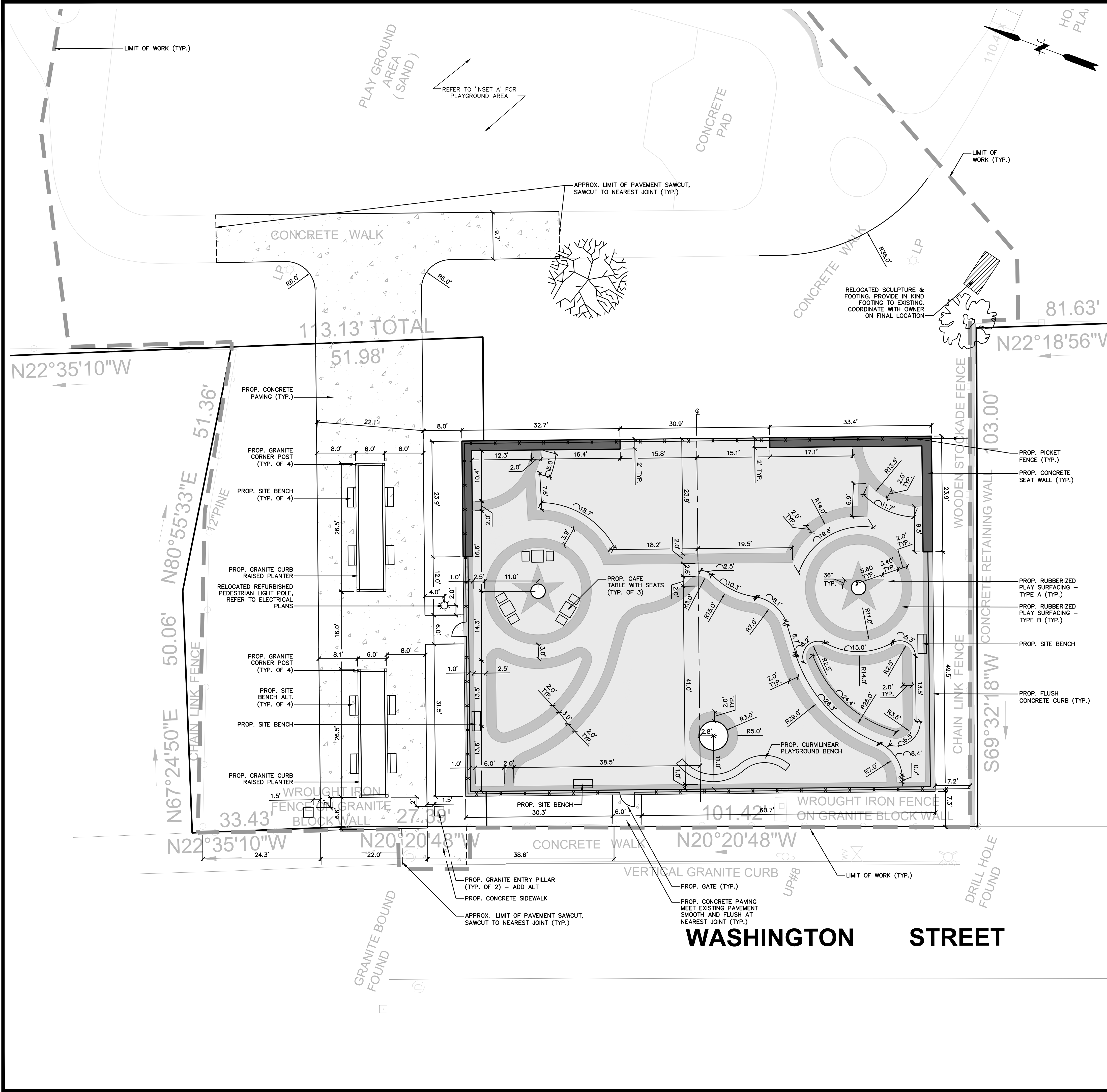
INSET A: EXISTING PLAYGROUND AREA
 SCALE: 1" = 20'-0"

NOTES:

1. SEE SOIL EROSION AND SEDIMENT CONTROL REPORT APPENDIX F FOR EXCERPTS FROM THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
2. DIVERSION SHALL BE INSTALLED IN ACCORDANCE WITH RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, SECTION FIVE, DIVERSIONS.
3. TEMPORARY SEDIMENT TRAP SHALL BE INSTALLED IN ACCORDANCE WITH RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, SECTION SIX, TEMPORARY SEDIMENT TRAPS.

DESIGNER/REVIEWER	
DESCRIPTION	
DATE	
No.	
SCALE: 1" = 10'	
HORIZ. VERT.	10 5 0 10
DATUM:	
HORIZ. VERT.	
GRAPHIC SCALE	
FUSS & O'NEILL 146 HARTFORD ROAD WESTPORT, CONNECTICUT 06480 860.646.2460 www.fandob.com	
CITY OF CENTRAL FALLS	RHODE ISLAND
EROSION & SEDIMENTATION CONTROL PLAN	JENKS PARK REDEVELOPMENT PHASE I
CENTRAL FALLS	CENTRAL FALLS
PROJ. No.: 20170811.A51 DATE: 09/19/2022	
CE-101	

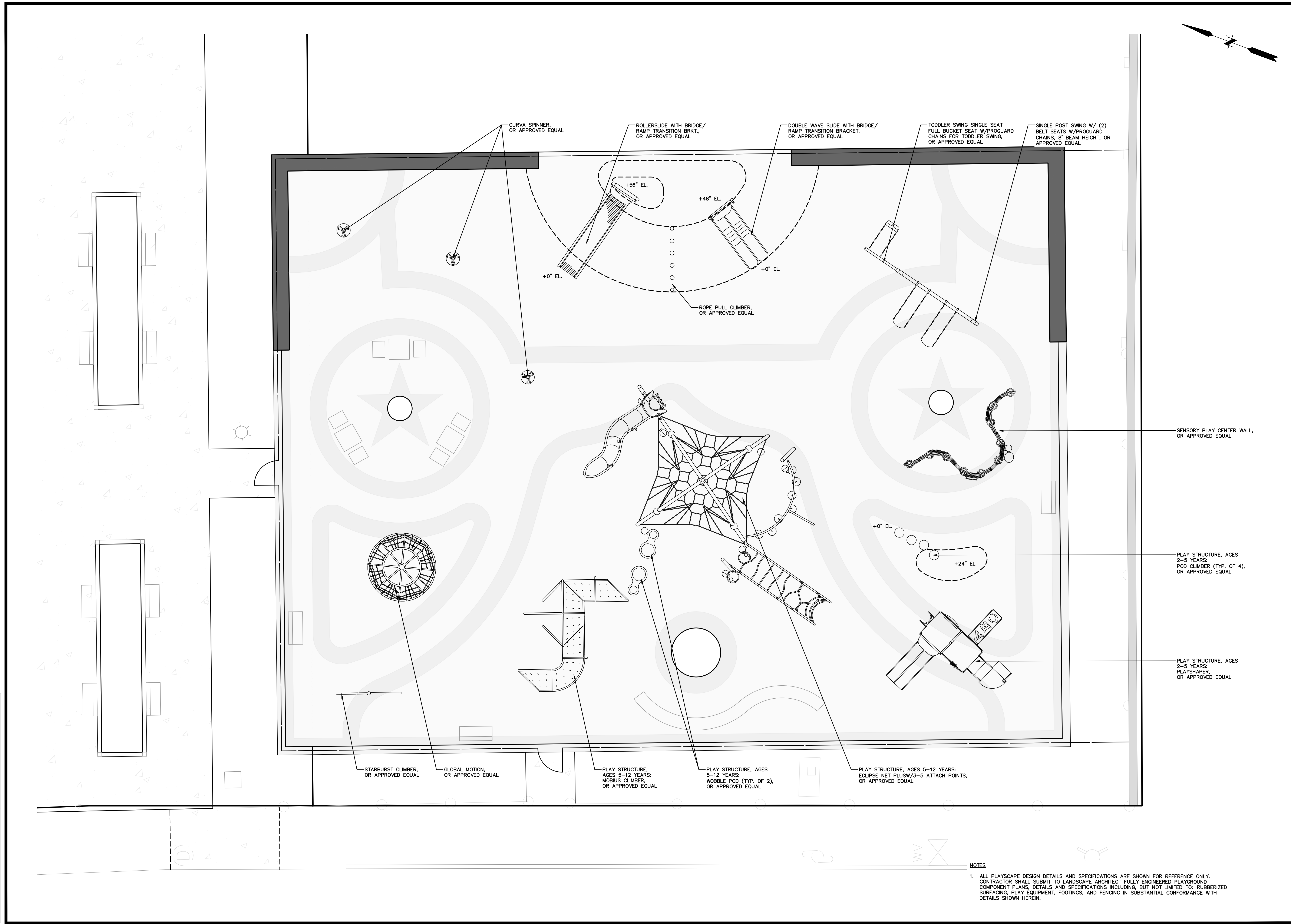
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 LAYER STATE:



INSET A: EXISTING PLAYGROUND AREA
 SCALE: 1" = 20'-0"

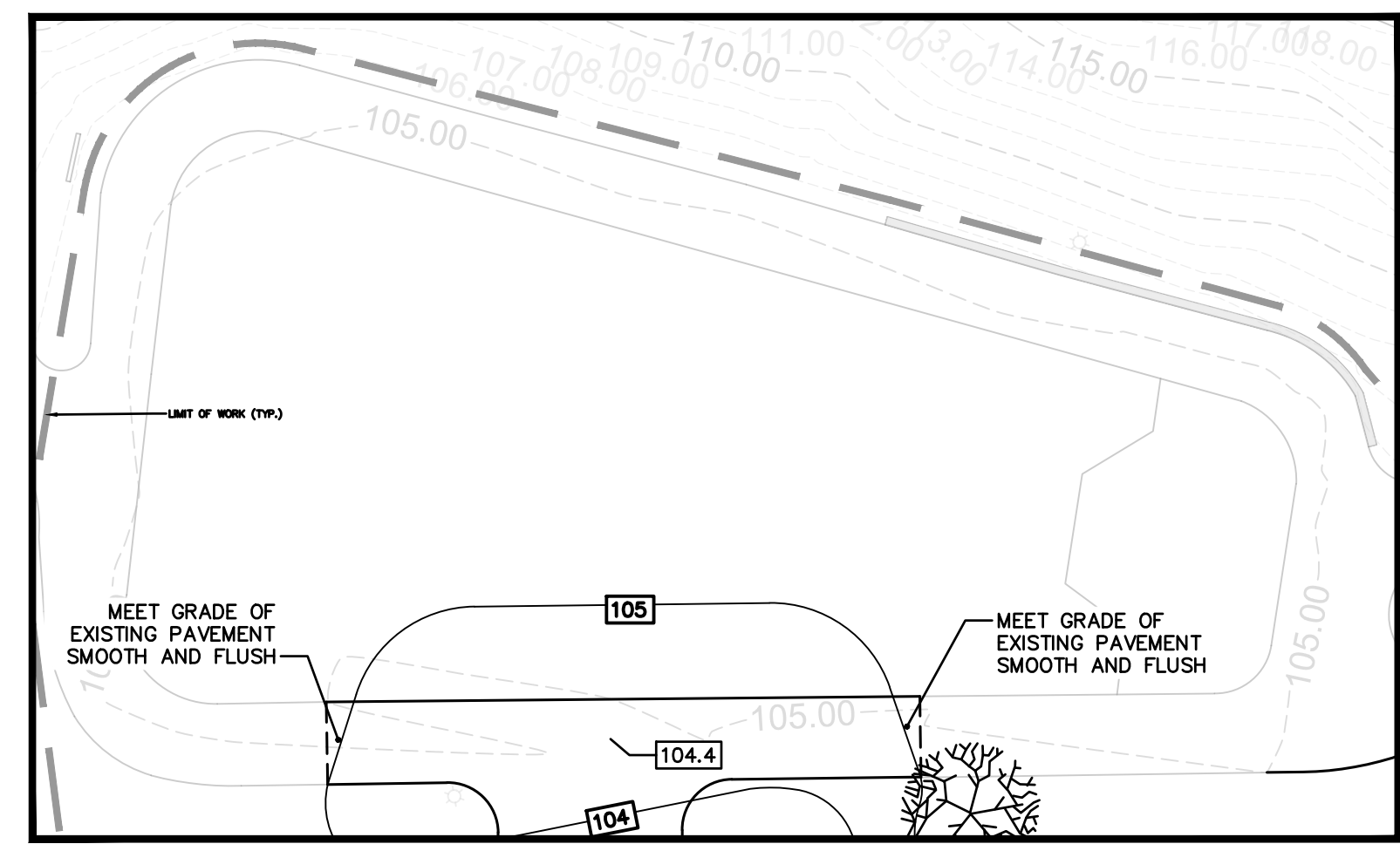
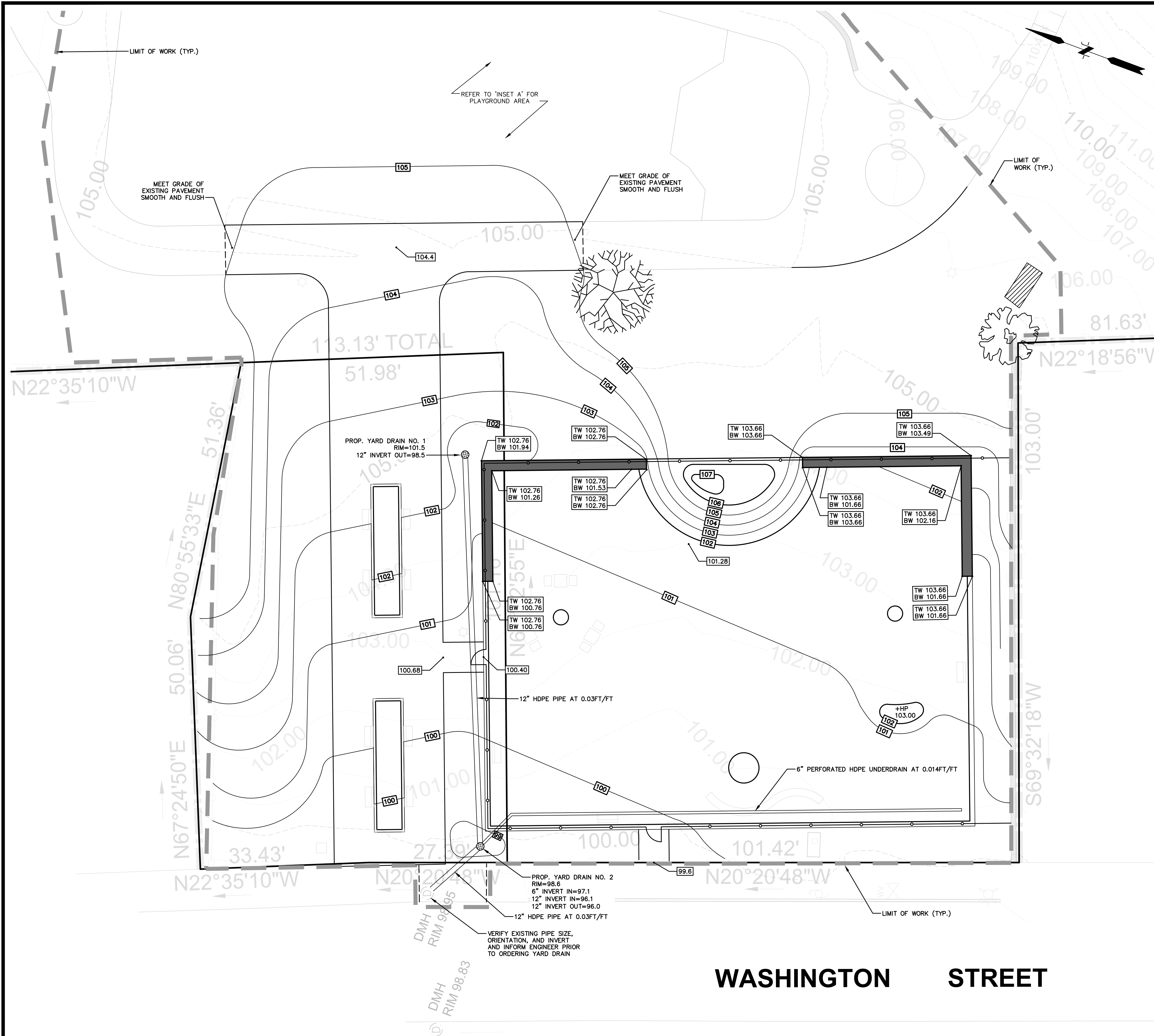
- LEGEND**
- CONCRETE PAVING
 - RUBBERIZED PLAY SURFACING - TYPE A
 - RUBBERIZED PLAY SURFACING - TYPE B
 - GRANITE CURB PLANTER WITH GRANITE CORNER POSTS
 - RELOCATED SCULPTURE & BASE
 - REFRUBISHED PEDESTRIAN LIGHT POLE
 - GRANITE ENTRY PILLAR ALT.
 - PICKET FENCE & GATE
 - CONCRETE SEAT WALL
 - FLUSH CONCRETE CURB
 - GRANITE CURB
 - CURVILINEAR PLAYGROUND BENCH
 - SITE BENCH ALT.
 - CAFE TABLE WITH SEATS
 - PROP. PROPOSED

PROJ. No.: 20170811.A51	DESIGNER/REVIEWER
DATE: 09/19/2022	DATE
DESCRIPTION	
No.	
SCALE: 1" = 10'	
HORIZ.: 1" = 10'	VERT.: 1" = 10'
DATUM:	HORIZ.: 1" = 10'
	VERT.: 1" = 10'
GRAPHIC SCALE	
FUSS & O'NEILL 146 HARTFORD ROAD WESTPORT, CONNECTICUT 06480 860.646.2460 www.fussandoneill.com	
CITY OF CENTRAL FALLS SITE LAYOUT PLAN JENKS PARK REDEVELOPMENT PHASE I CENTRAL FALLS, RHODE ISLAND	
CS-101	



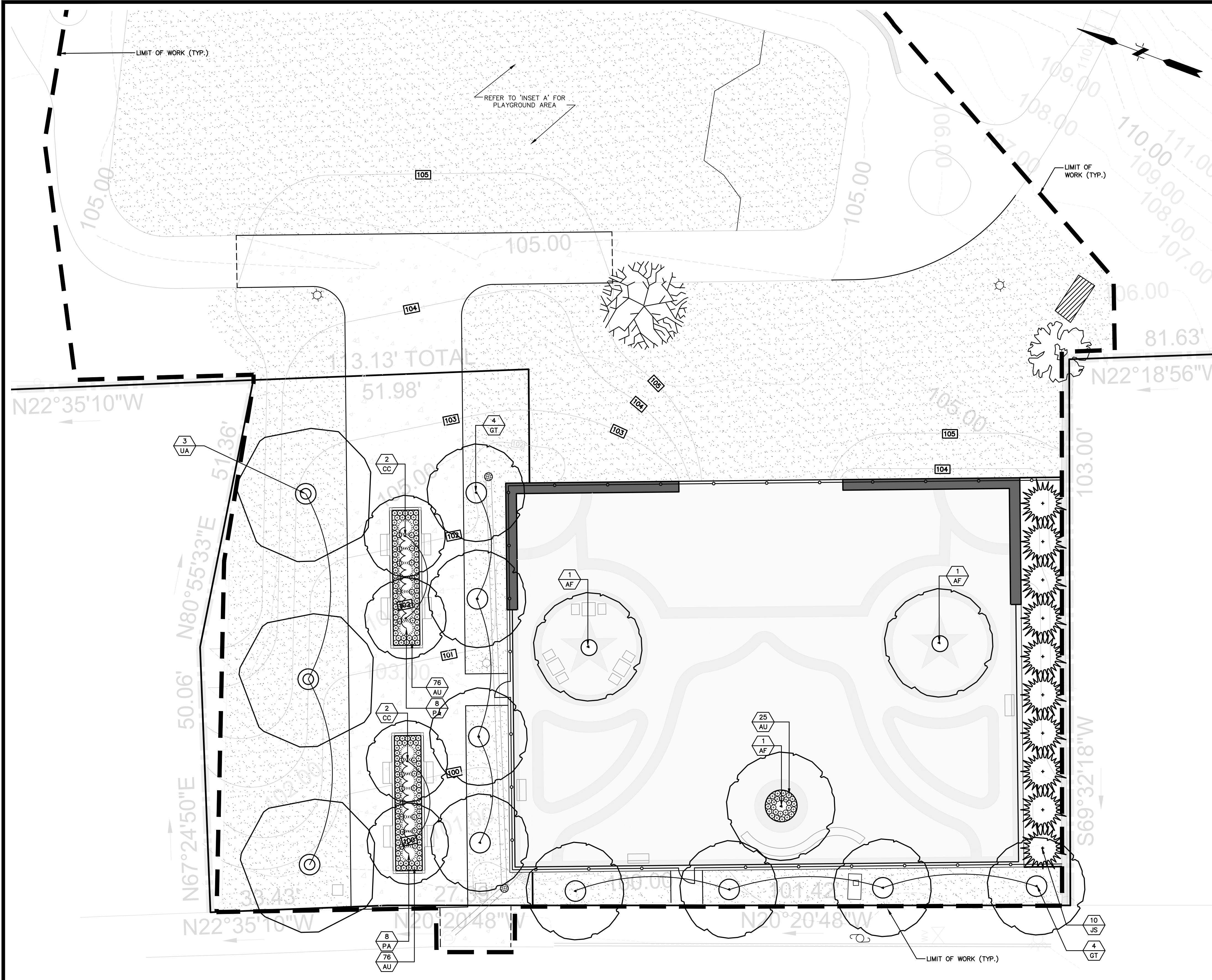
NOTES
 1. ALL PLAYSCAPE DESIGN DETAILS AND SPECIFICATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL SUBMIT TO LANDSCAPE ARCHITECT FULLY ENGINEERED PLAYGROUND COMPONENT PLANS, DETAILS AND SPECIFICATIONS INCLUDING, BUT NOT LIMITED TO: RUBBERIZED SURFACING, PLAY EQUIPMENT, FOOTINGS, AND FENCING IN SUBSTANTIAL CONFORMANCE WITH DETAILS SHOWN HEREIN.

<p>SCALE: HORZ.: 1" = 5' VERT.: 1" = 5' DATUM: 5 HORZ.: 2.5 VERT.: 0 GRAPHIC SCALE</p>		<p>DESIGNER/REVIEWER</p>
<p>FUSS & O'NEILL 146 HARTFORD ROAD WESTPORT, CONNECTICUT 06480 860.644.2460 www.fussandoneill.com</p>		<p>DATE</p>
<p>CITY OF CENTRAL FALLS PLAYGROUND ENLARGEMENT PLAN JENKS PARK REDEVELOPMENT PHASE I CENTRAL FALLS RHODE ISLAND</p>		<p>DESCRIPTION</p>
<p>PROJ. No.: 20170811.A51 DATE: 09/19/2022</p>		<p>No.</p>
<p>CS-102</p>		<p>DESIGNER/REVIEWER</p>

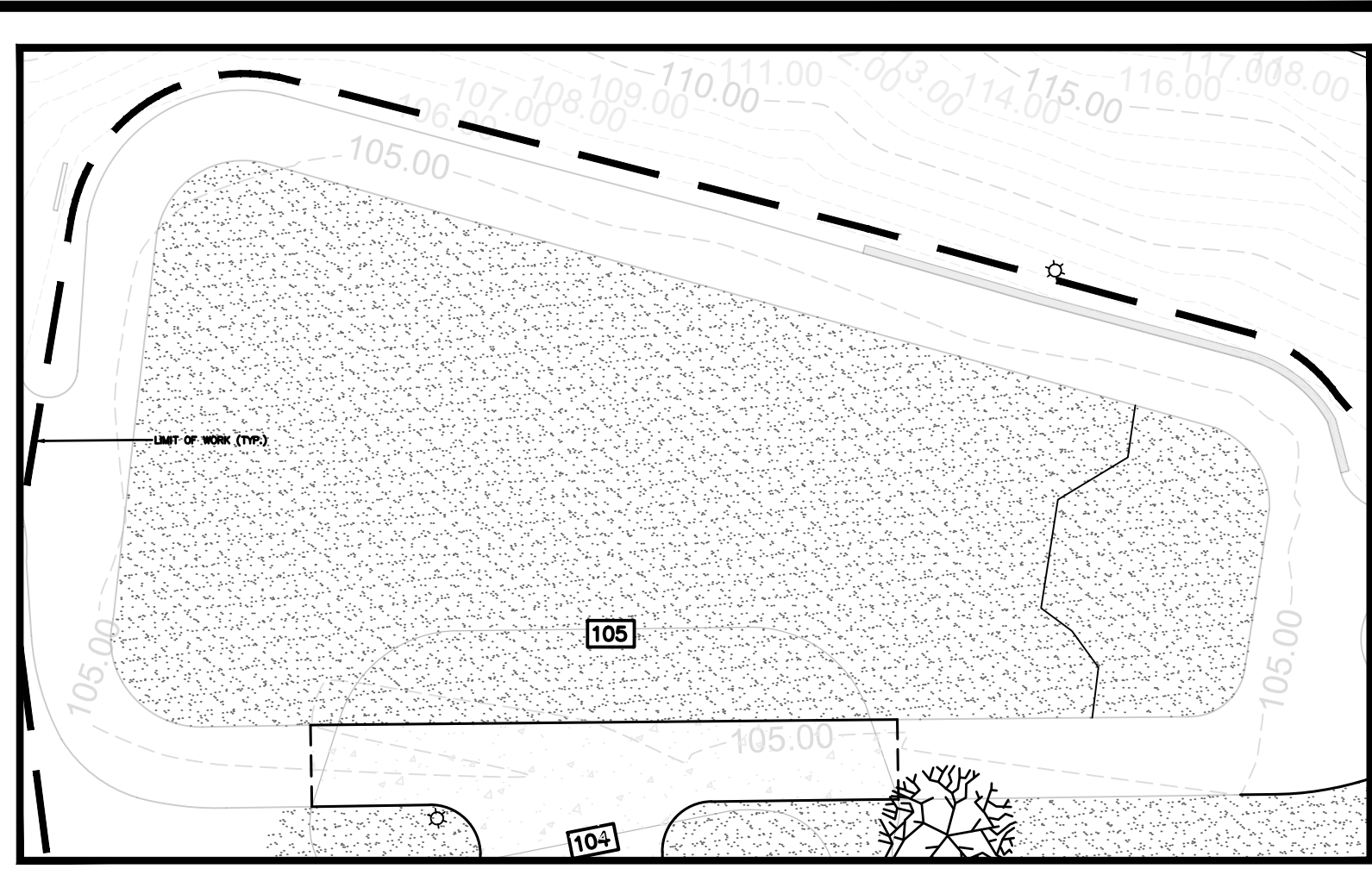


- NOTES**
1. PROPOSED WALKWAYS SHALL BE NO STEEPER THAN 5% RUNNING SLOPE AND NO GREATER THAN 2% CROSS SLOPE. CONTRACTOR TO CONFIRM ALL GRADES PRIOR TO CONSTRUCTION.
 2. "TW" - TOP OF WALL
 "BW" - BOTTOM OF EXPOSED WALL AT FINISHED GRADE

<p>FUSS & O'NEILL 146 HARTFORD ROAD WATERBURY, CONNECTICUT 06640 860.646.2460 www.fussandoneill.com</p>	<p>DESIGNER REVIEWER</p>
<p>CITY OF CENTRAL FALLS GRADING & DRAINAGE PLAN JENKS PARK REDEVELOPMENT PHASE I</p>	<p>DATE</p>
<p>CENTRAL FALLS RHODE ISLAND</p>	<p>DESCRIPTION</p>
<p>SCALE: HORIZ.: 1" = 10' VERT.: 1" = 5' DATUM: NAD 83 HORIZ.: 1" = 10' VERT.: 1" = 5'</p>	<p>NO.</p>
<p>PROJ. No.: 20170811.A51 DATE: 09/19/2022</p>	
<p>CG-101</p>	



WASHINGTON STREET



INSET A: EXISTING PLAYGROUND AREA
 SCALE: 1" = 20'-0"

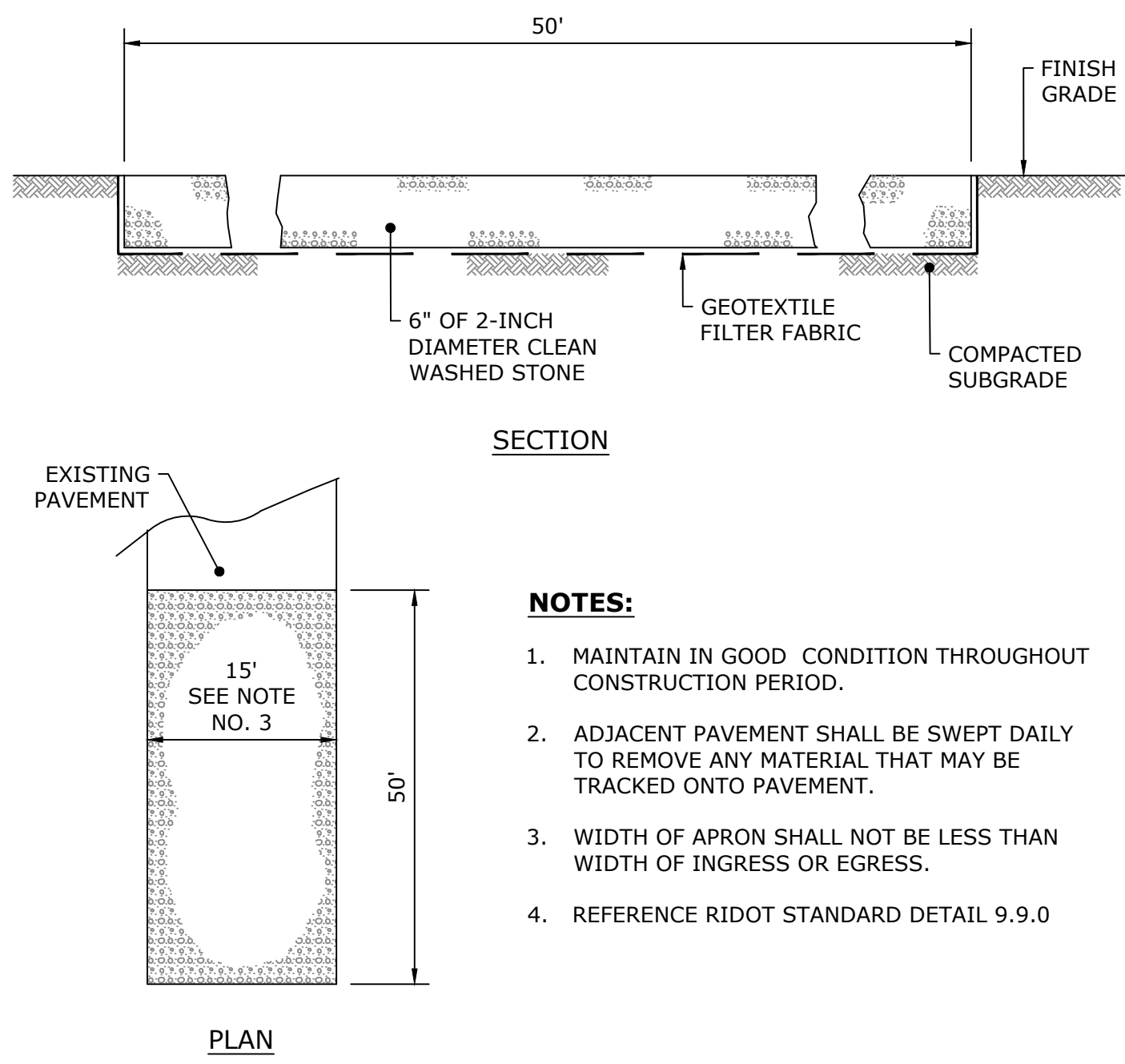
LEGEND

- EXISTING TREE TO REMAIN
- PROPOSED DECIDUOUS TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUBS/GROUNDCOVER
- HYDROSEED LAWN

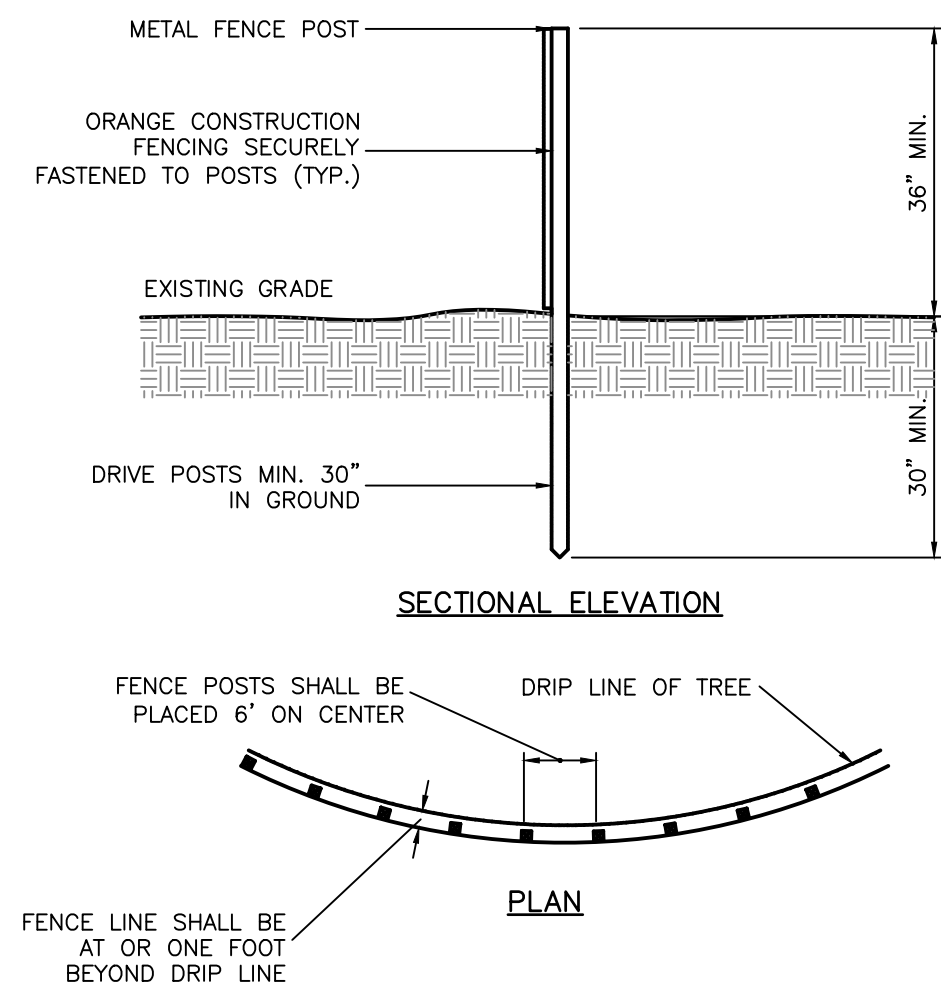
PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
DECIDUOUS TREES				
AF	ACER X FREEMANNII 'JEFFSRED'	AUTUMN BLAZE MAPLE	3	3-3.5" CAL.
CC	CERCIS CANADENSIS	EASTERN REDBUD	4	2-2.5" CAL.
GT	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	8	3-3.5" CAL.
UA	ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE AMERICAN ELM	3	3-3.5" CAL.
EVERGREEN TREES				
JS	JUNIPERUS SCOPULORUM 'WICHITA BLUE'	WICHITA BLUE JUNIPER	10	5'-6' HT.
SHRUBS/GROUNDCOVER				
AU	ARCTOSTAPHYLOS UVA-URSIS 'MASSACHUSETTS'	BEARBERRY	177	12" O.C. SPACING 1 GAL.
PA	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	16	2 GAL.

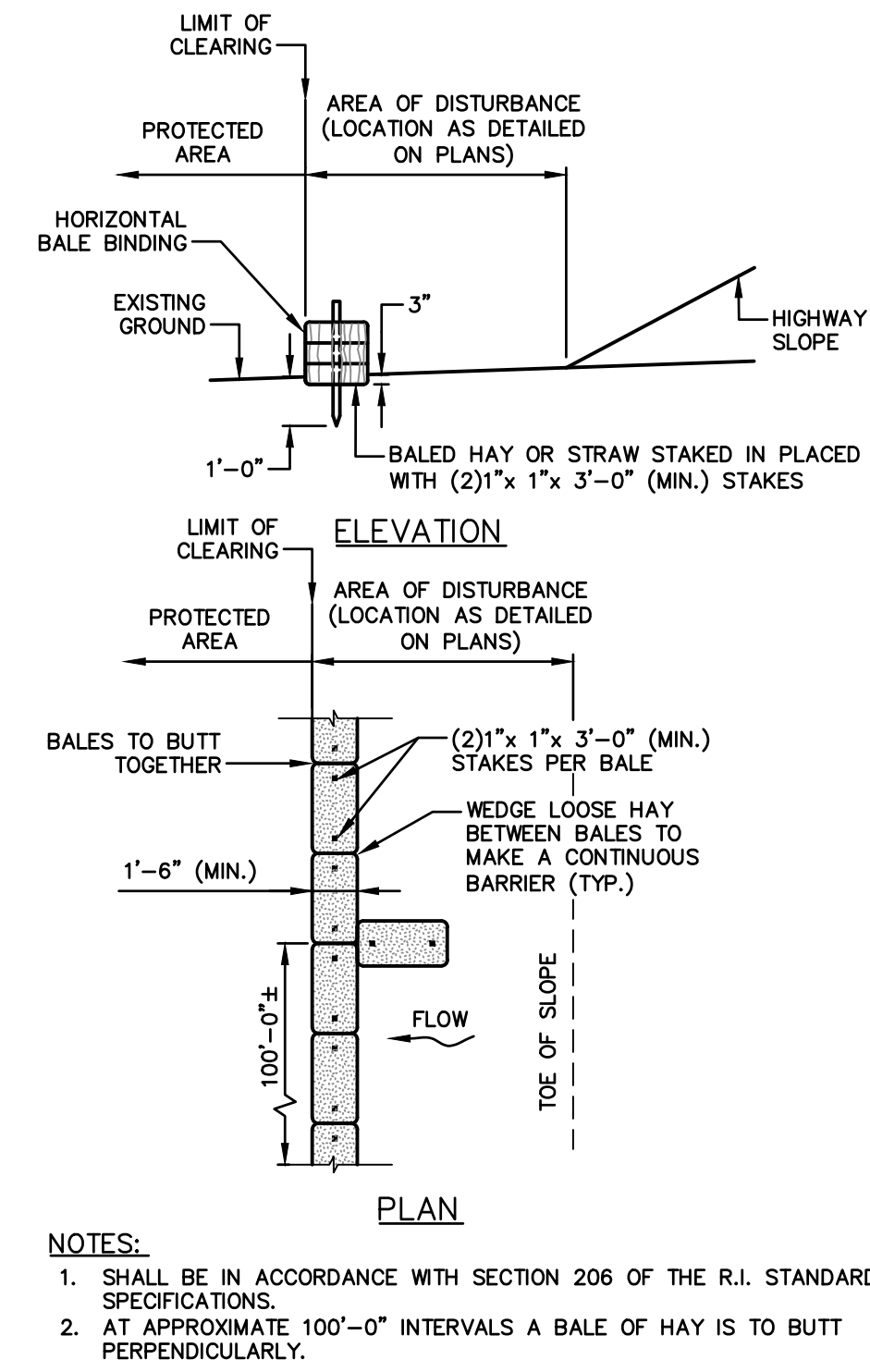
 FUSS & O'NEILL 146 HARTFORD ROAD WATERBURY, CONNECTICUT 06640 860.644.2460 www.fandoo.com	CITY OF CENTRAL FALLS LANDSCAPE PLANTING PLAN JENKS PARK REDEVELOPMENT PHASE I CENTRAL FALLS, RHODE ISLAND	PROJ. No.: 20170811.A51 DATE: 09/19/2022	LP-101	SCALE: HORZ.: 1" = 10' VERT.: DATUM: HORZ.: VERT.: 10 5 0 10 GRAPHIC SCALE	No. DATE DESCRIPTION DESIGNER REVIEWER



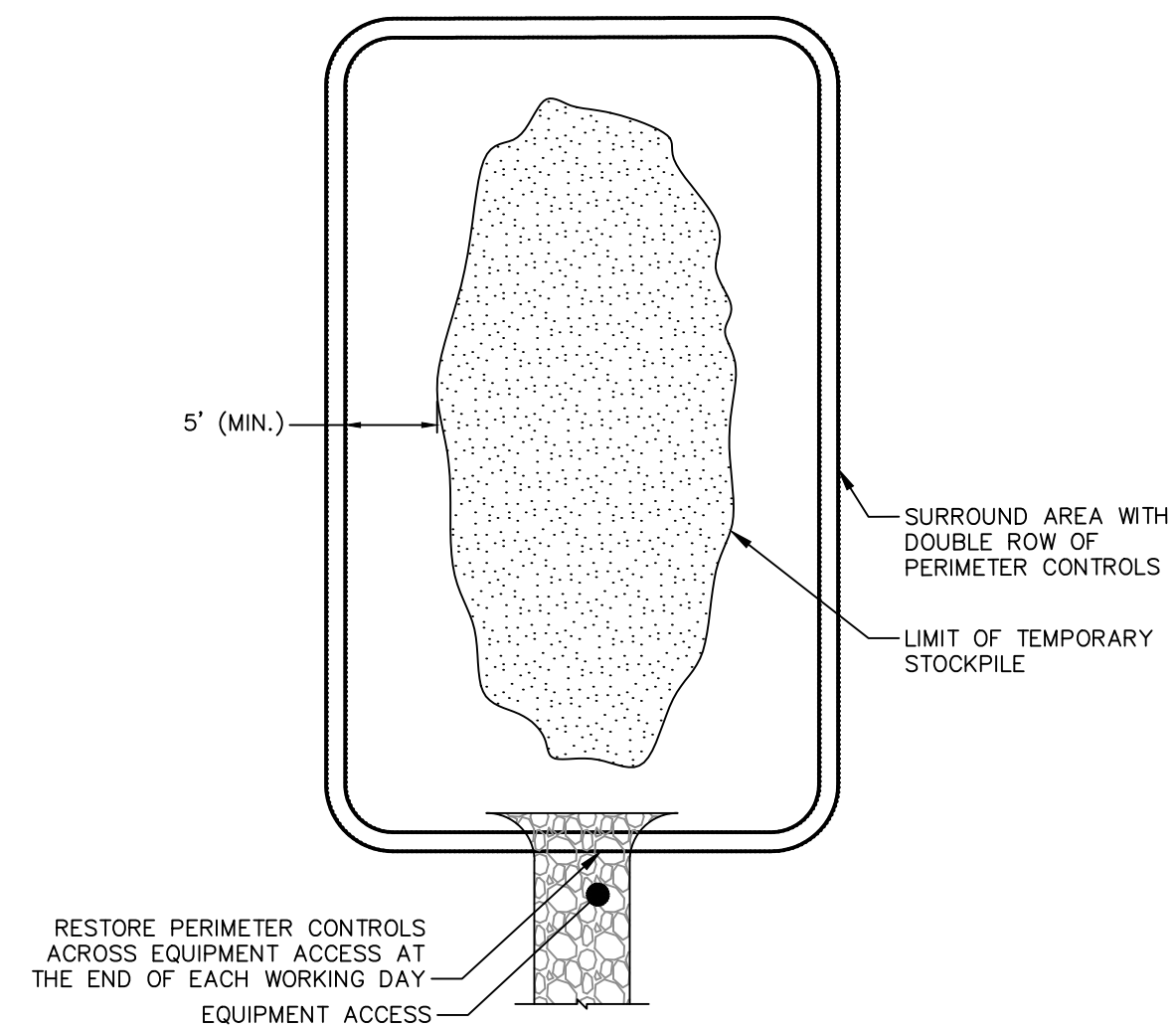
CONSTRUCTION ACCESS
SCALE: N.T.S.



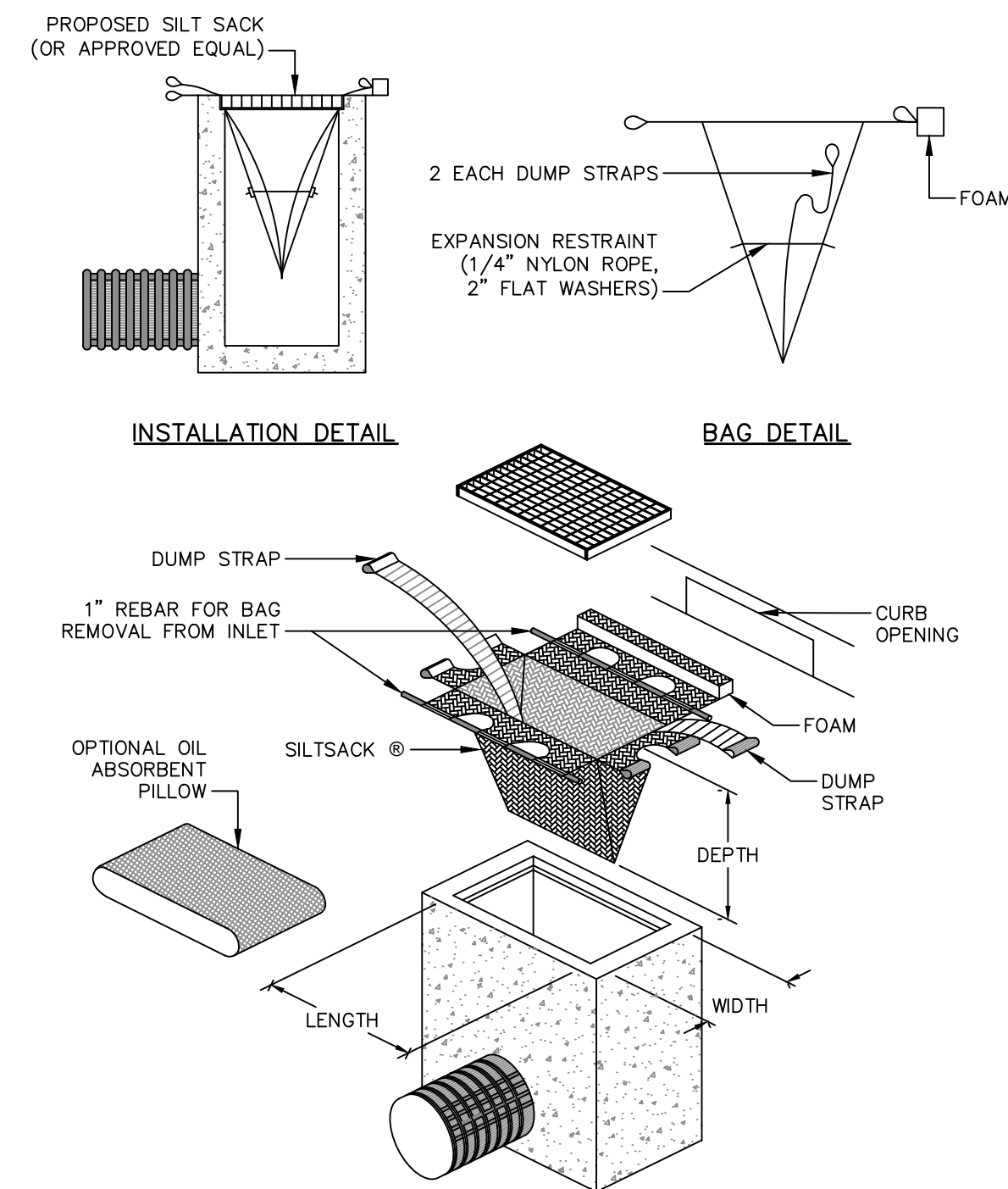
TREE PROTECTION FENCING
NOT TO SCALE



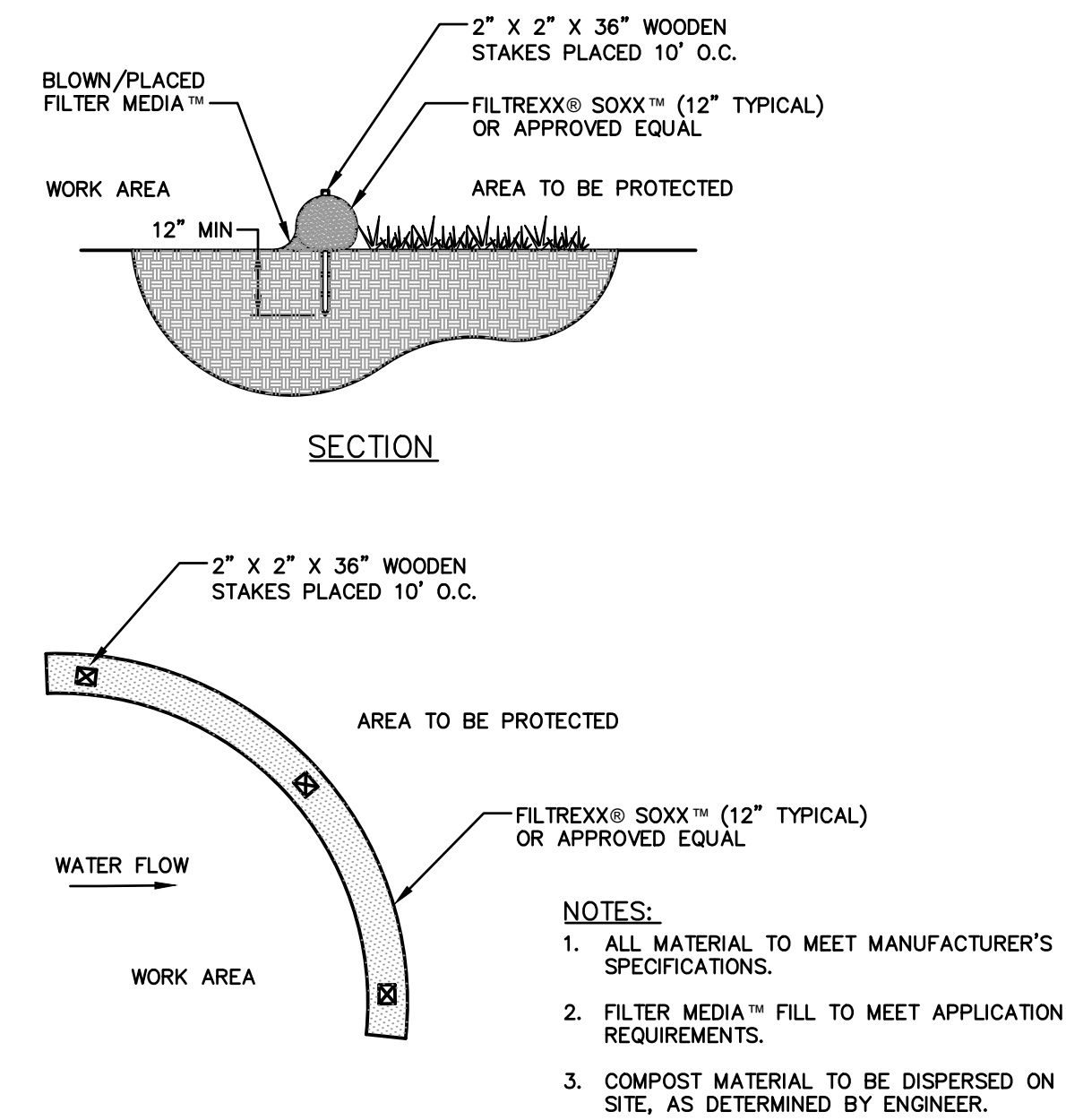
STRAW BALE EROSION CHECK DAM
SCALE: N.T.S.



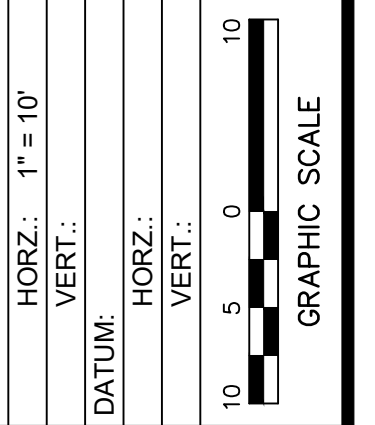
SOIL STOCKPILE AREA
NOT TO SCALE



INLET PROTECTION
NOT TO SCALE



COMPOST FILTER SOCK
SCALE: N.T.S.

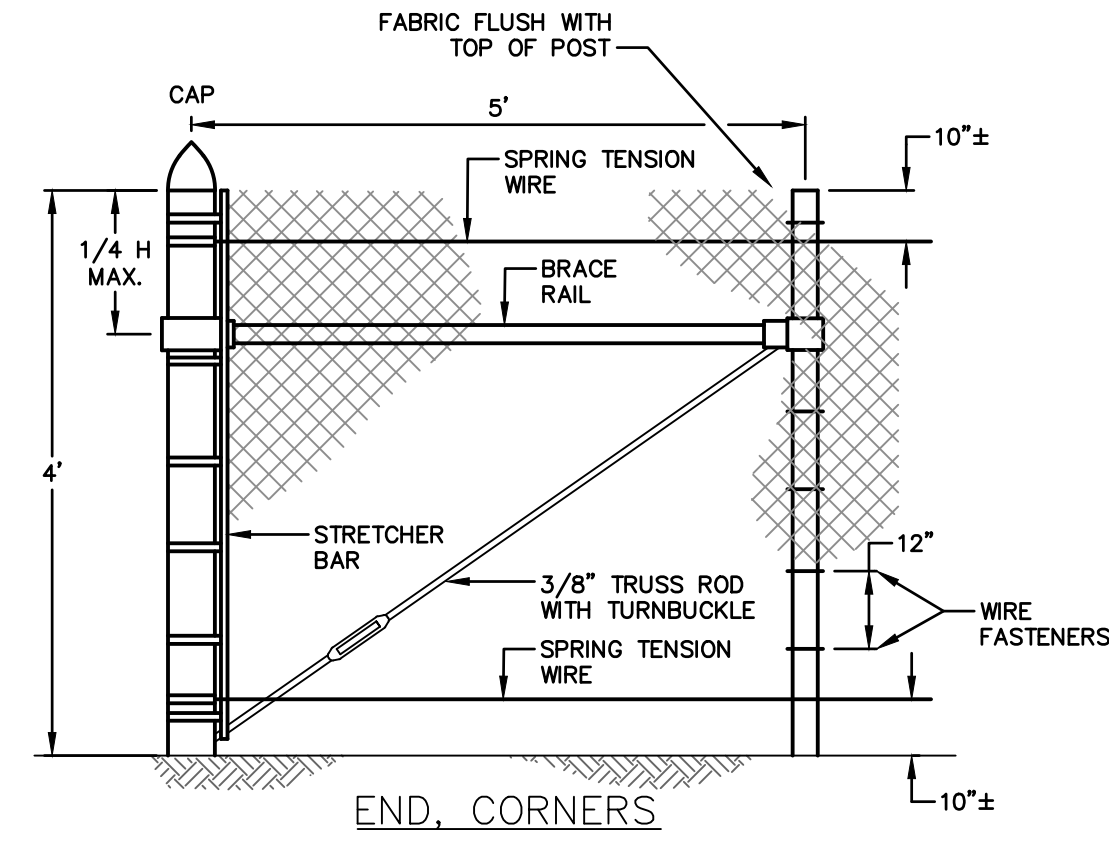


FUSS & O'NEILL
146 HARTFORD ROAD
MIDDLETOWN, CONNECTICUT 06460
860.646.2660
www.fussandoneill.com

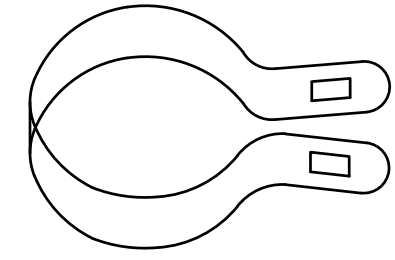
CITY OF CENTRAL FALLS
CONSTRUCTION DETAILS
JENKS PARK REDEVELOPMENT
PHASE I
CENTRAL FALLS, RHODE ISLAND

PROJ. No.: 20170811.A51
DATE: 09/19/2022

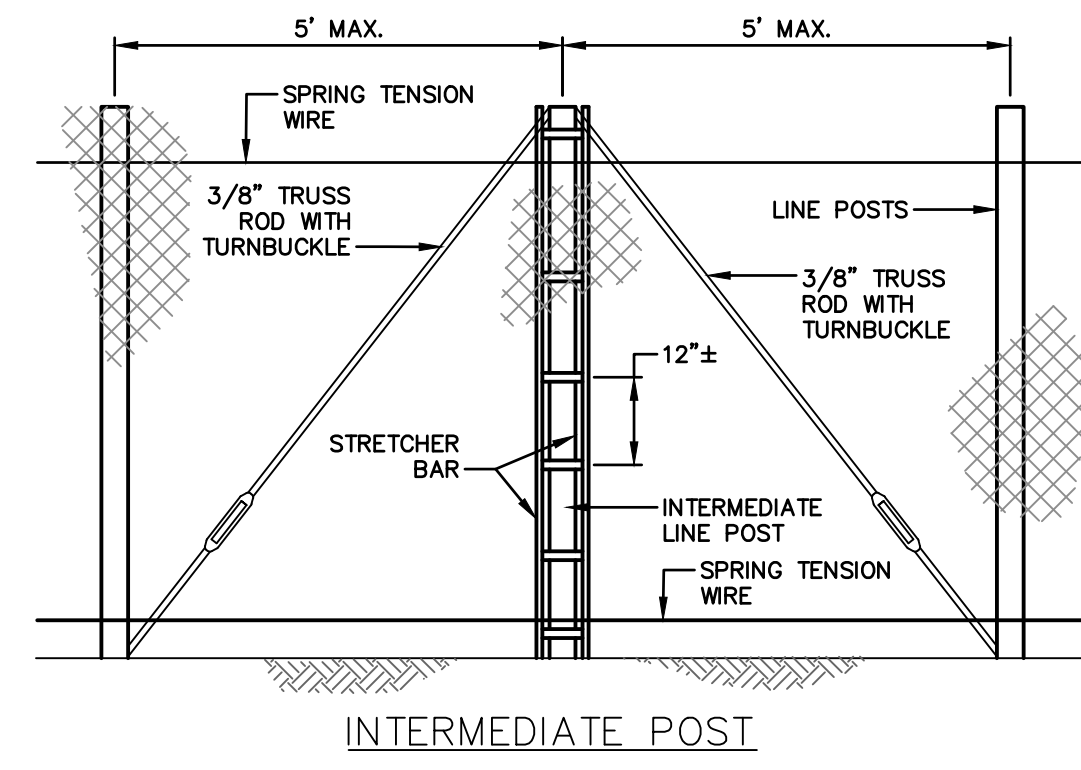
CD-501



END, CORNERS



END BAND



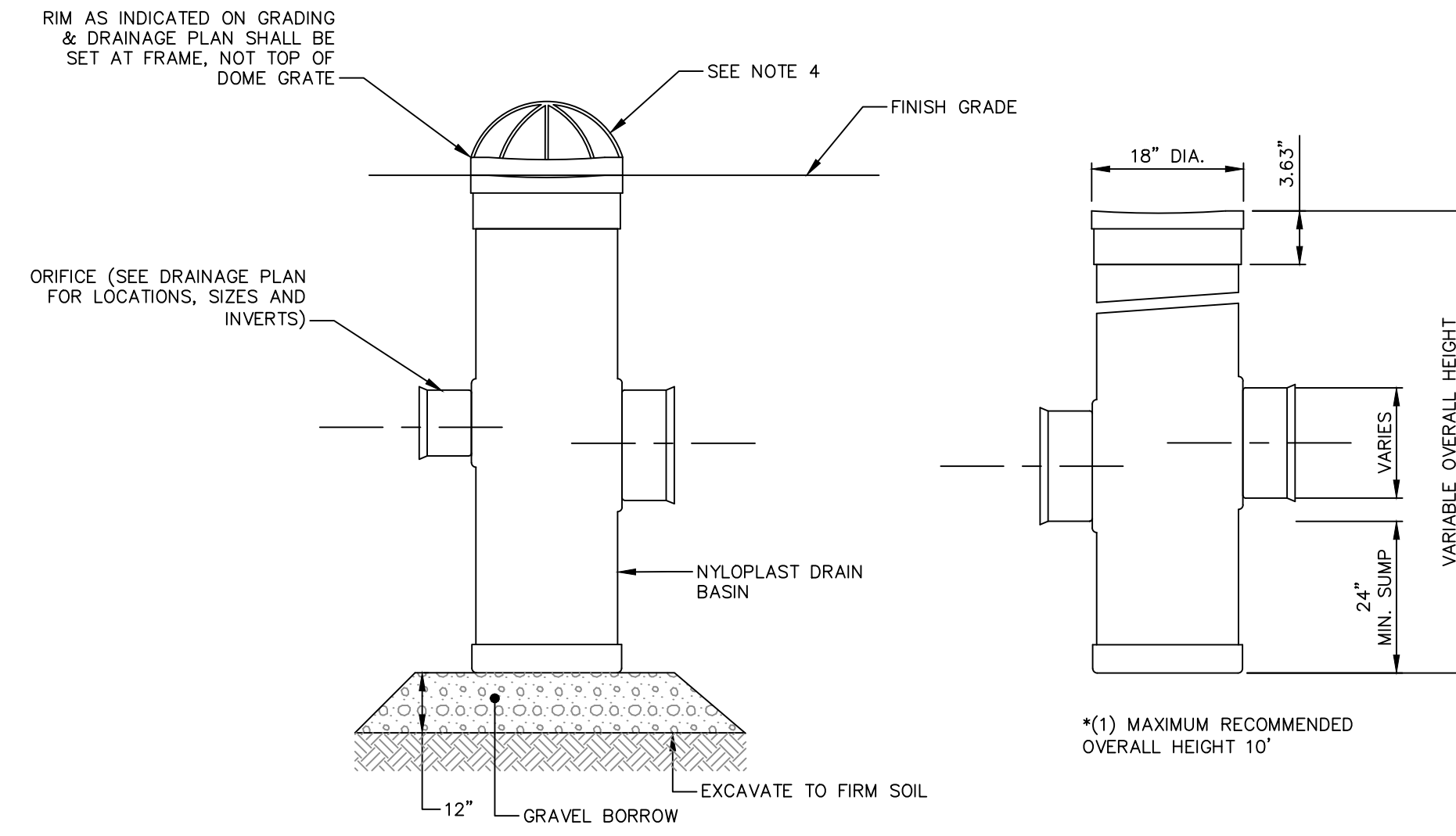
INTERMEDIATE POST

NOTES:

1. CHAIN LINK FENCE TO BE INSTALLED IN ACCORDANCE WITH MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES SECTION.
2. FABRIC FOR FENCES 4' OR LESS IN HEIGHT. TOP SELVAGE TO HAVE KNUCKLED FINISH, BOTTOM SELVAGE TO HAVE TWISTED AND BARBED FINISH UNLESS OTHERWISE NOTED.
3. GRADE OF FENCE TO BE PARALLEL WITH THE GRADE OF SIDEWALKS, CURBING, GROUND OR TOP OF WALL.
4. INTERMEDIATE POST INTERVALS NOT TO EXCEED 500 FEET.
5. SPACING OF LINE POST ON CURVES, SEE DRAWING E 404.1.0.
6. FOR DESCRIPTION, MATERIAL AND CONSTRUCTION METHODS, SEE STANDARD SPECIFICATIONS.
7. SPRING TENSION WIRE TO BE FASTENED TO FABRIC WITH 11 GAUGE HOG RINGS AT 1' INTERVALS.
8. SPRING TENSION WIRE TO BE FASTENED TO LINE POSTS WITH CLIPS.
9. LINE POST TO BE DRIVEN EXCEPT WHERE NOTED ABOVE.

TEMPORARY CHAIN LINK FENCE

SCALE: N.T.S.



NOTES:

1. SEE DRAINAGE FOR PIPE SIZE, PIPE, MATERIAL, AND INVERTS.
2. GRAVEL BORROW SHALL BE COMPACTED TO 95-PERCENT MODIFIED PROCTOR.
3. GRAVEL BORROW SHALL CONFORM TO M.01.09, TABLE 1, COLUMN IA OF THE STANDARD SPECIFICATIONS.
4. DOME GRATES SHALL BE MANUFACTURED BY ADS AND SHALL BE NYLOPAST PART # 1899CGD, OR APPROVED EQUAL.

YARD DRAIN

NOT TO SCALE

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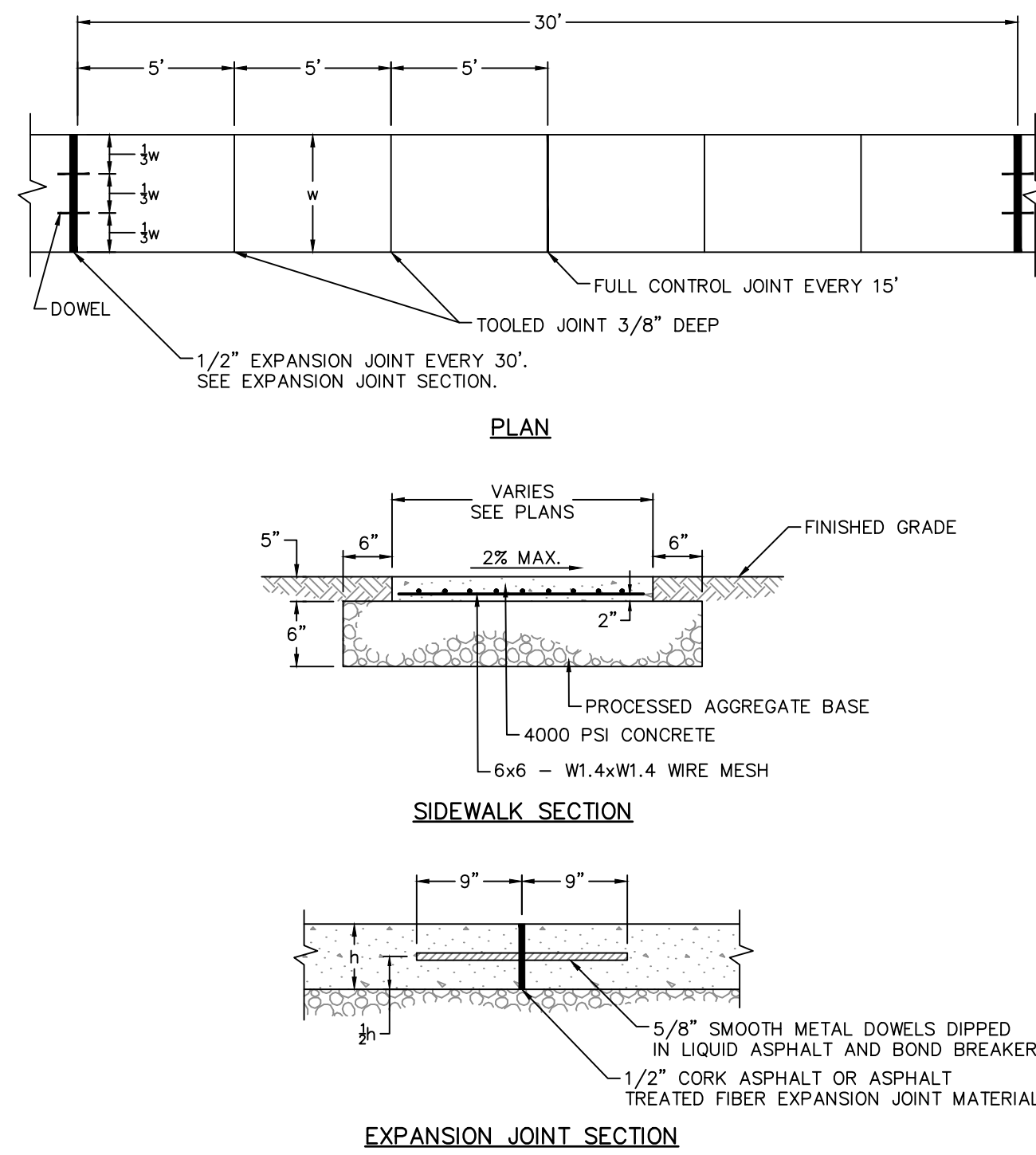
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HORIZ.: 1" = 10'
VERT.: 1" = 10'
DATUM:
HORIZ.: 1" = 10'
VERT.: 1" = 10'
GRAPHIC SCALE

FUSS & O'NEILL
 146 HARTFORD ROAD
 SUITE 200
 WESTPORT, CONNECTICUT 06480
 860.646.2460
 www.fussandoneill.com

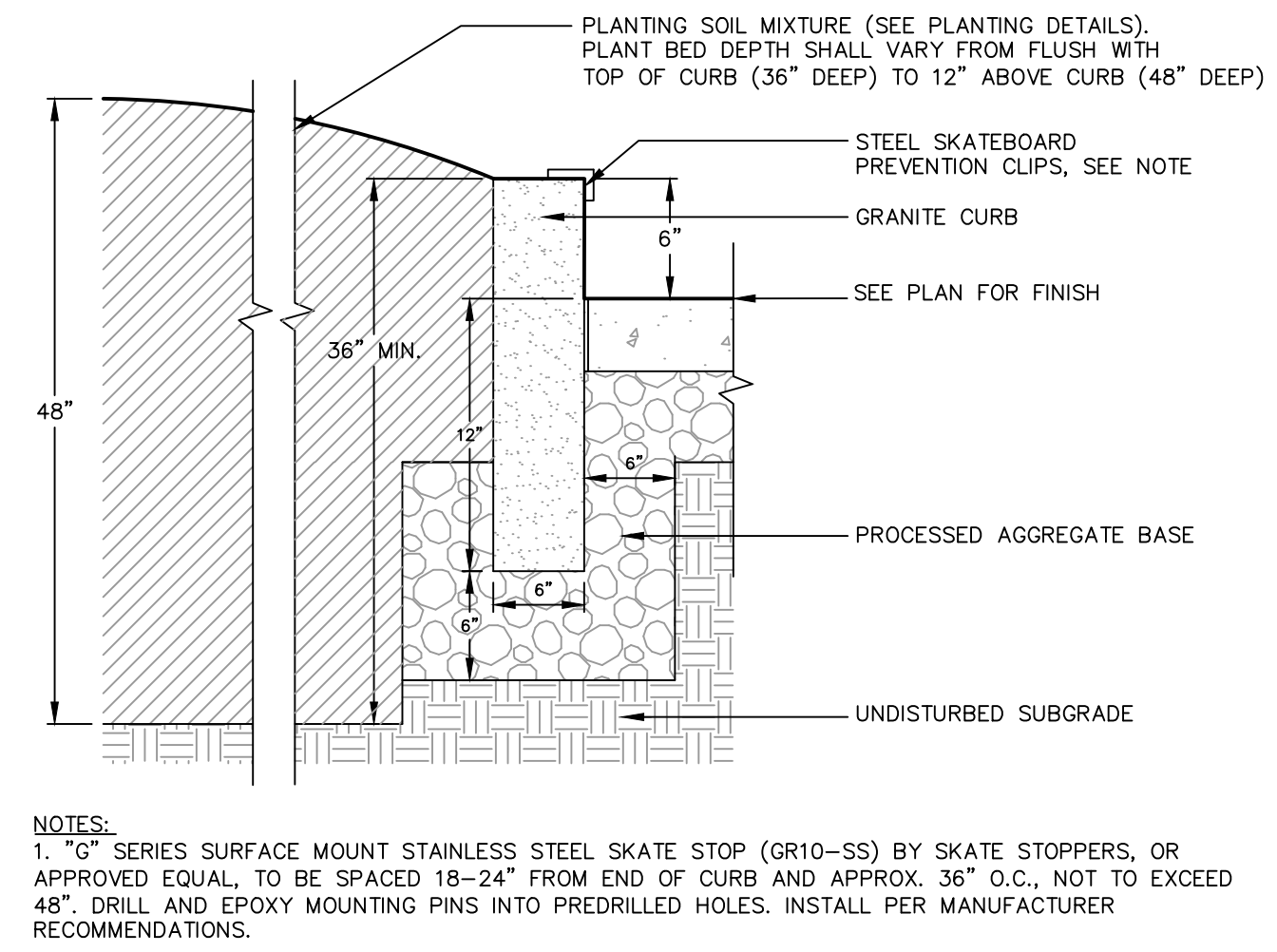
CITY OF CENTRAL FALLS
 CONSTRUCTION DETAILS
 JENKS PARK REDEVELOPMENT
 PHASE I
 CENTRAL FALLS, RHODE ISLAND

PROJ. No.: 20170811.A51
 DATE: 09/19/2022

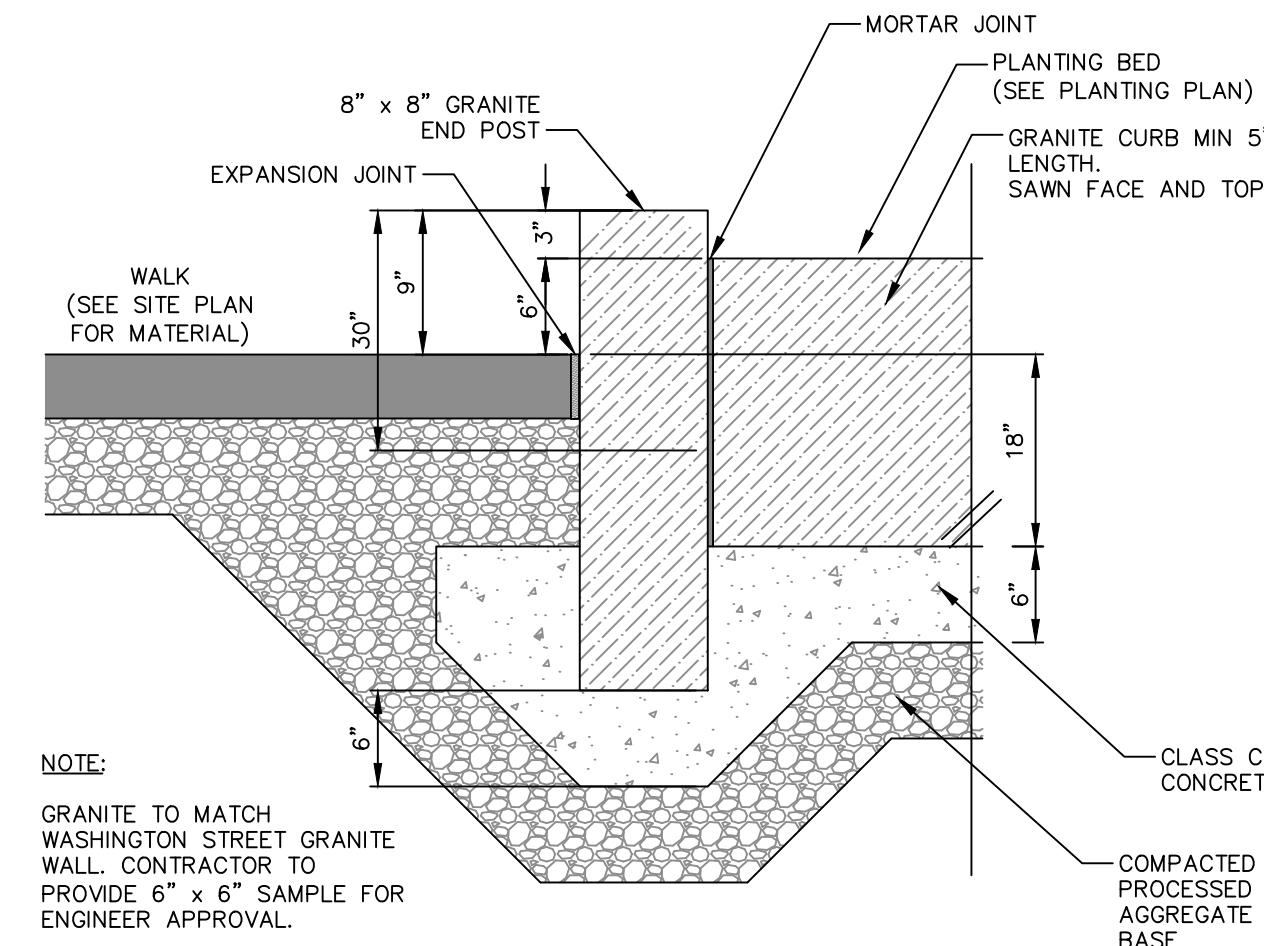
CD-502



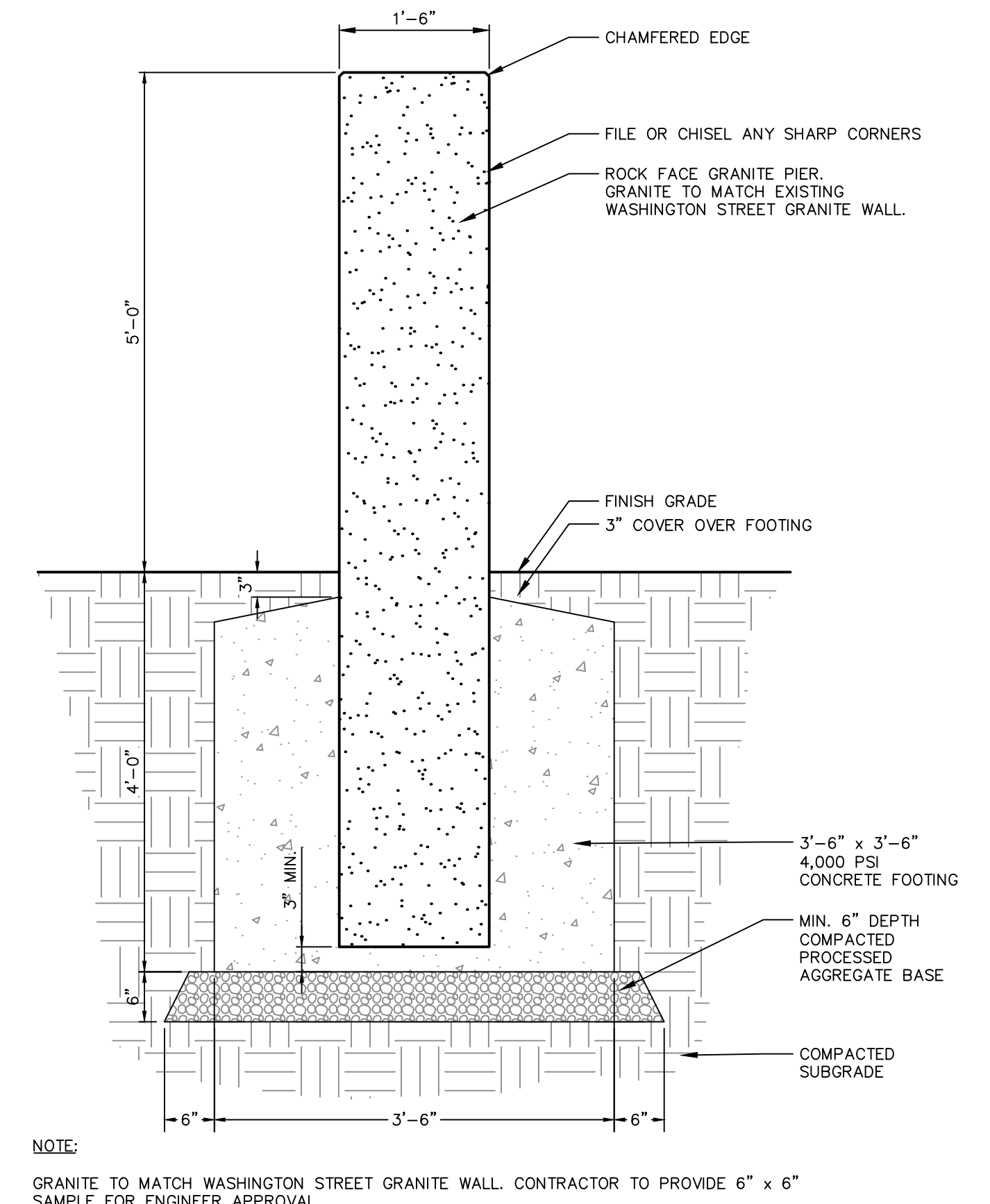
CONCRETE SIDEWALK
SCALE: N.T.S.



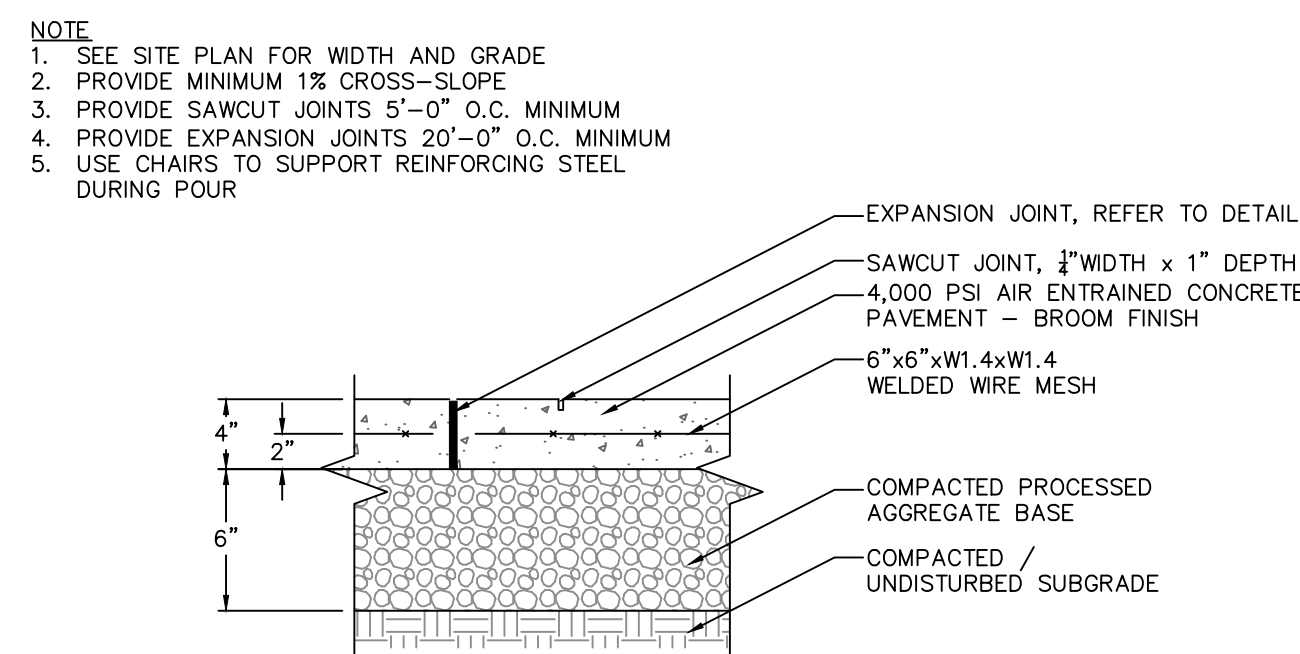
GRANITE CURB PLANTER
SCALE: N.T.S.



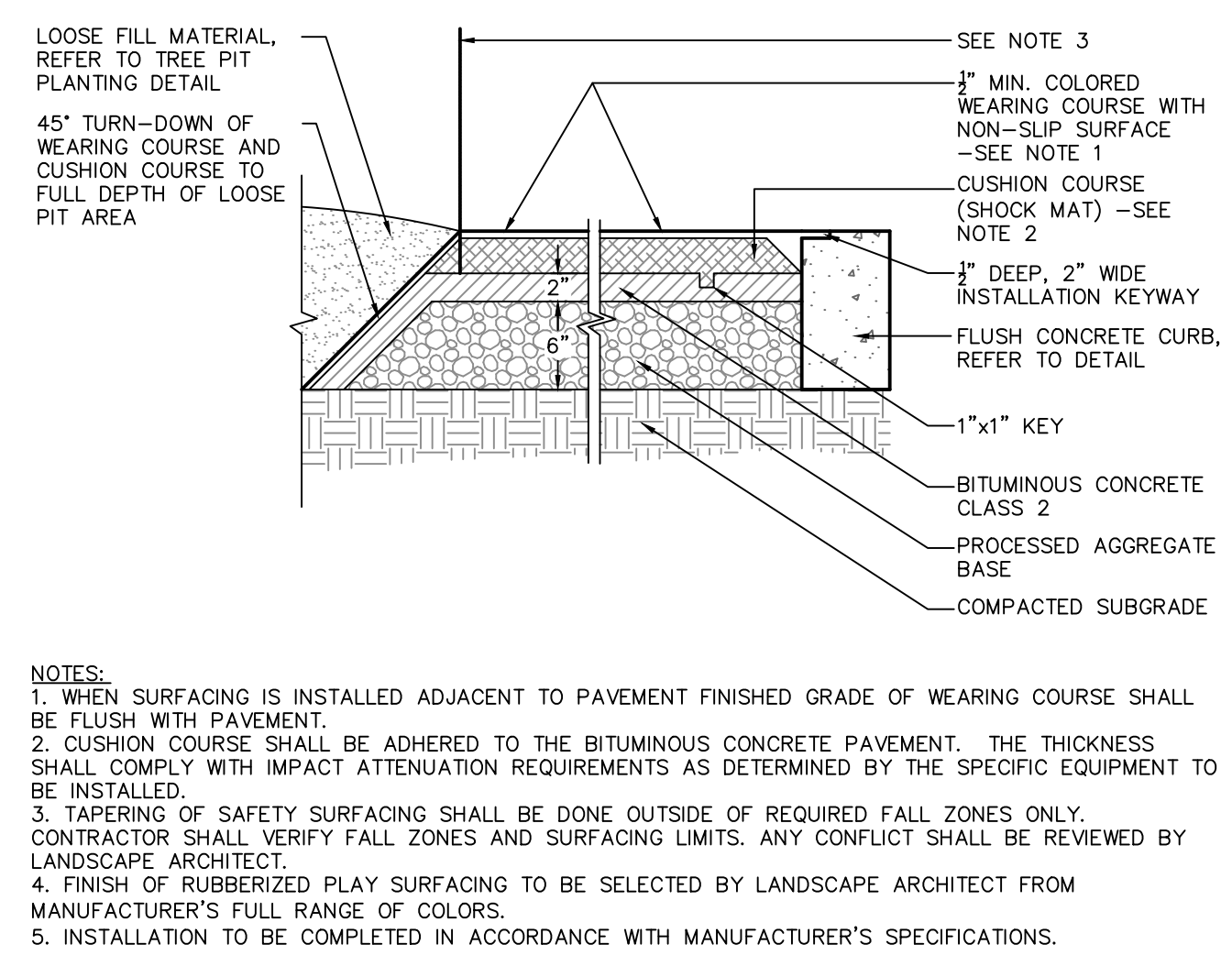
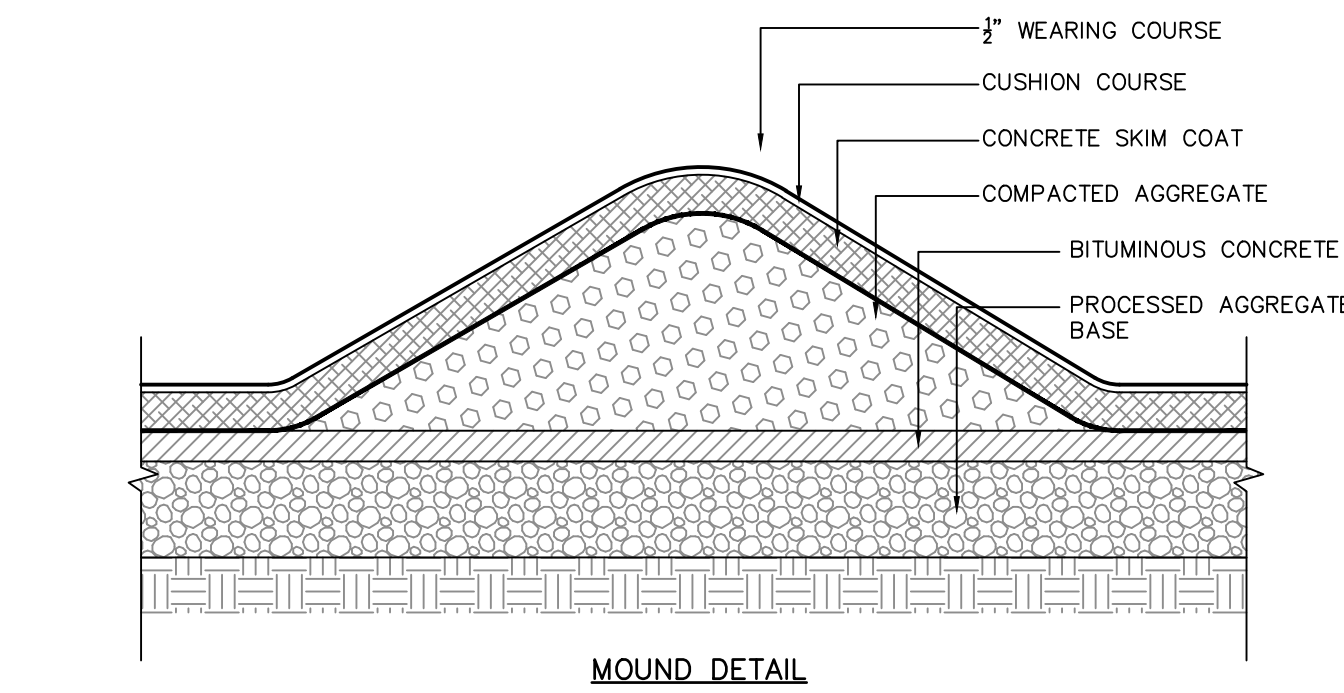
GRANITE CURB PLANTER CORNER POSTS
NOT TO SCALE



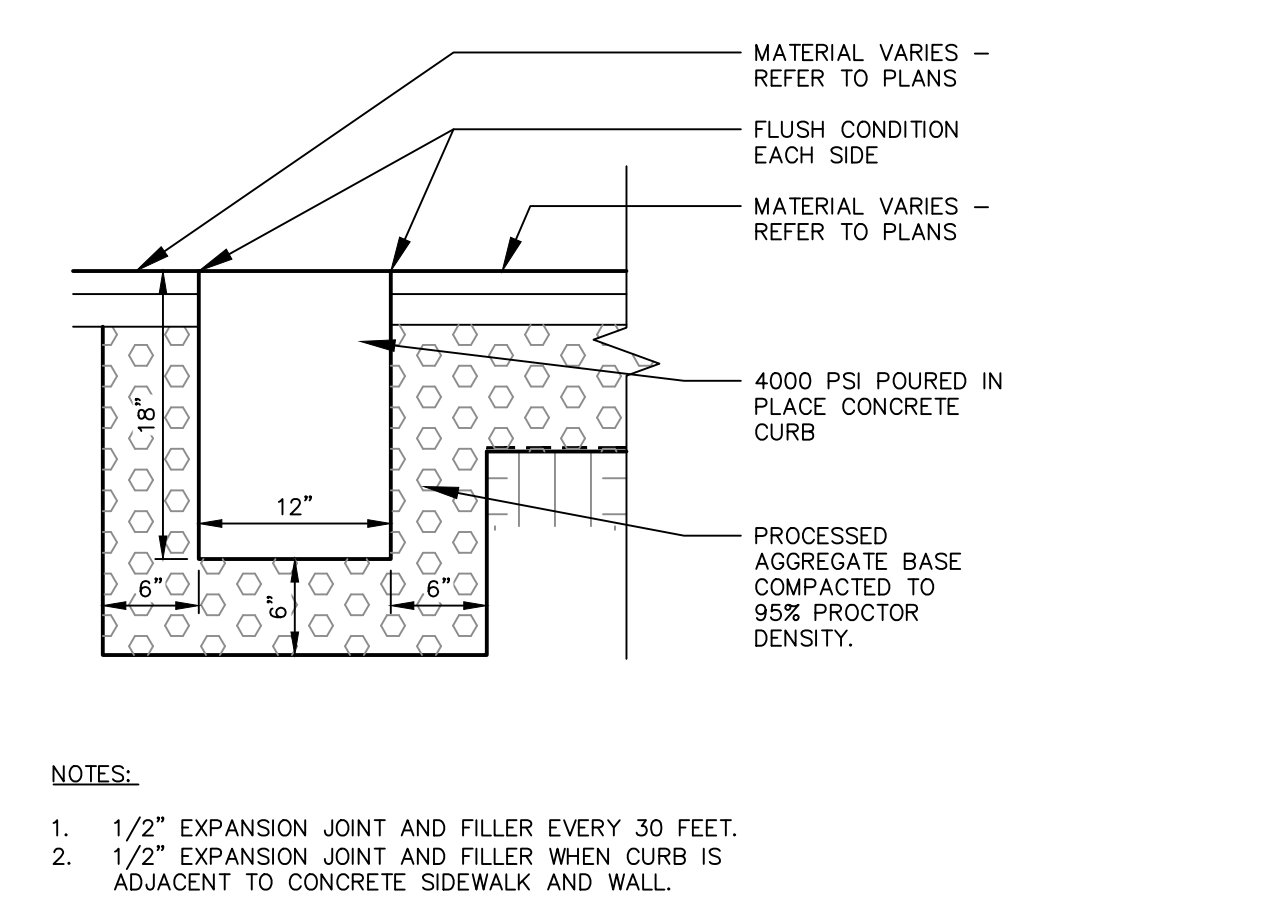
GRANITE ENTRY PILLAR - ADD ALT.
SCALE: N.T.S.



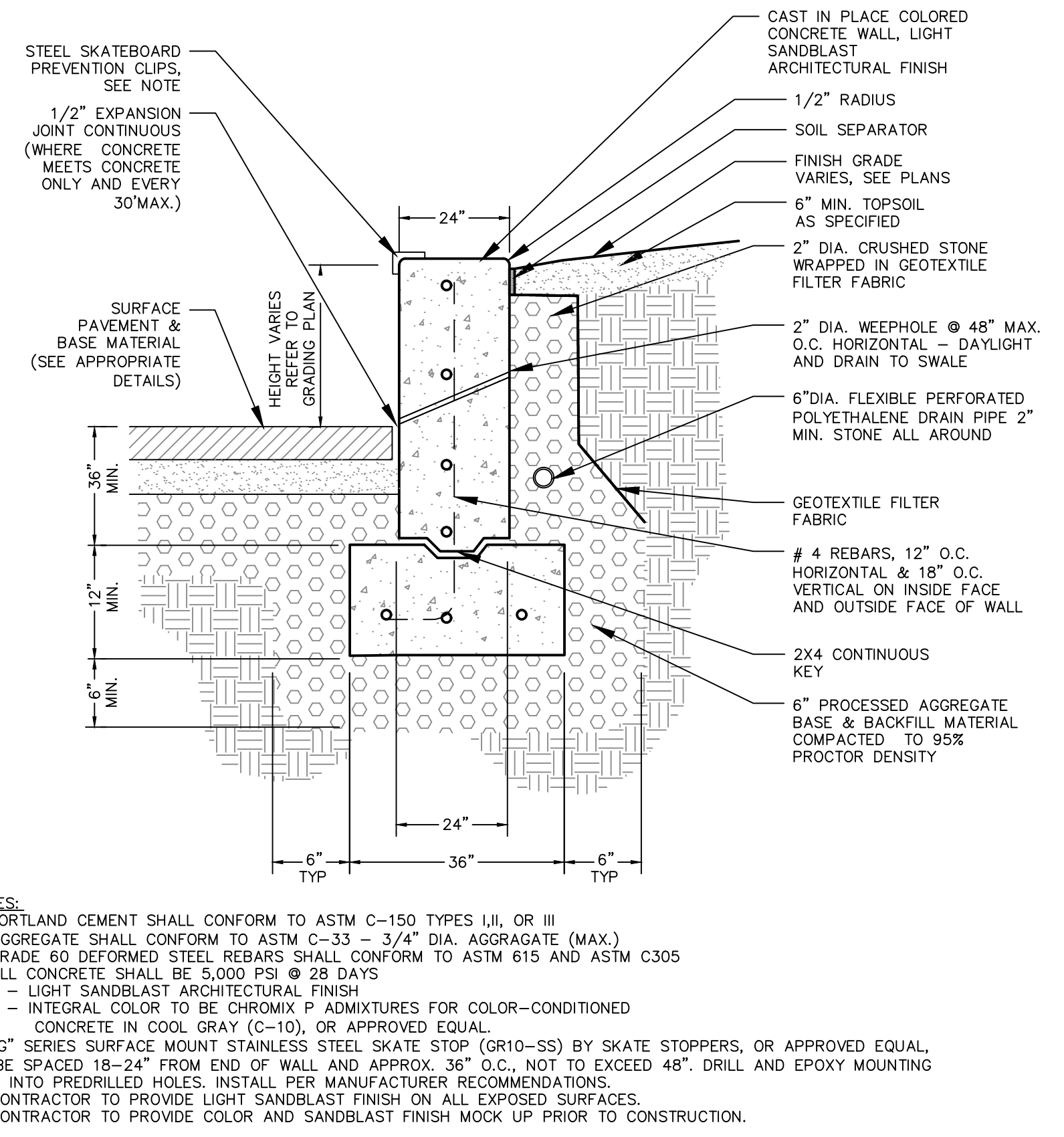
CONCRETE PAVING
SCALE: N.T.S.



RUBBERIZED PLAY SURFACING
SCALE: N.T.S.

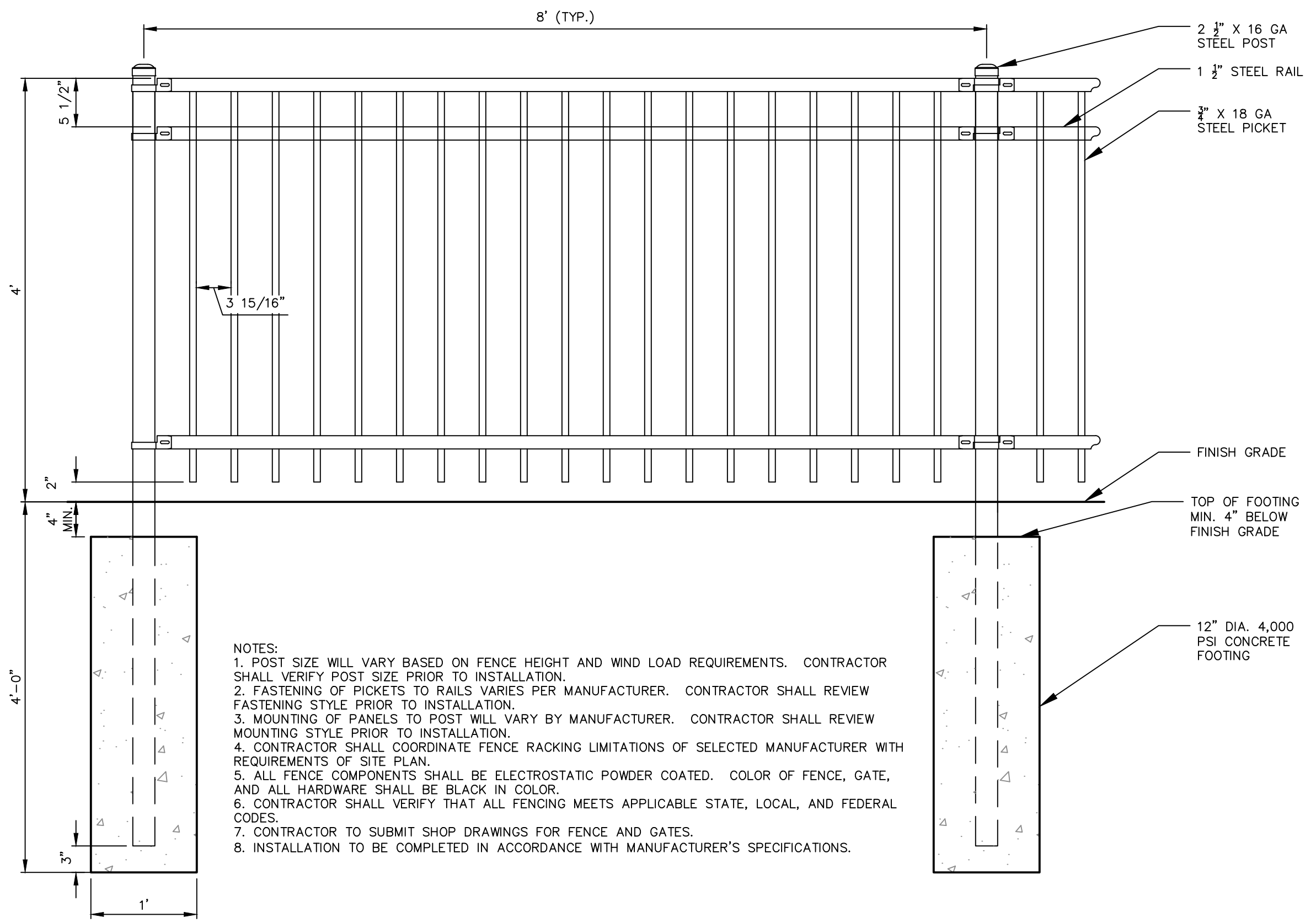
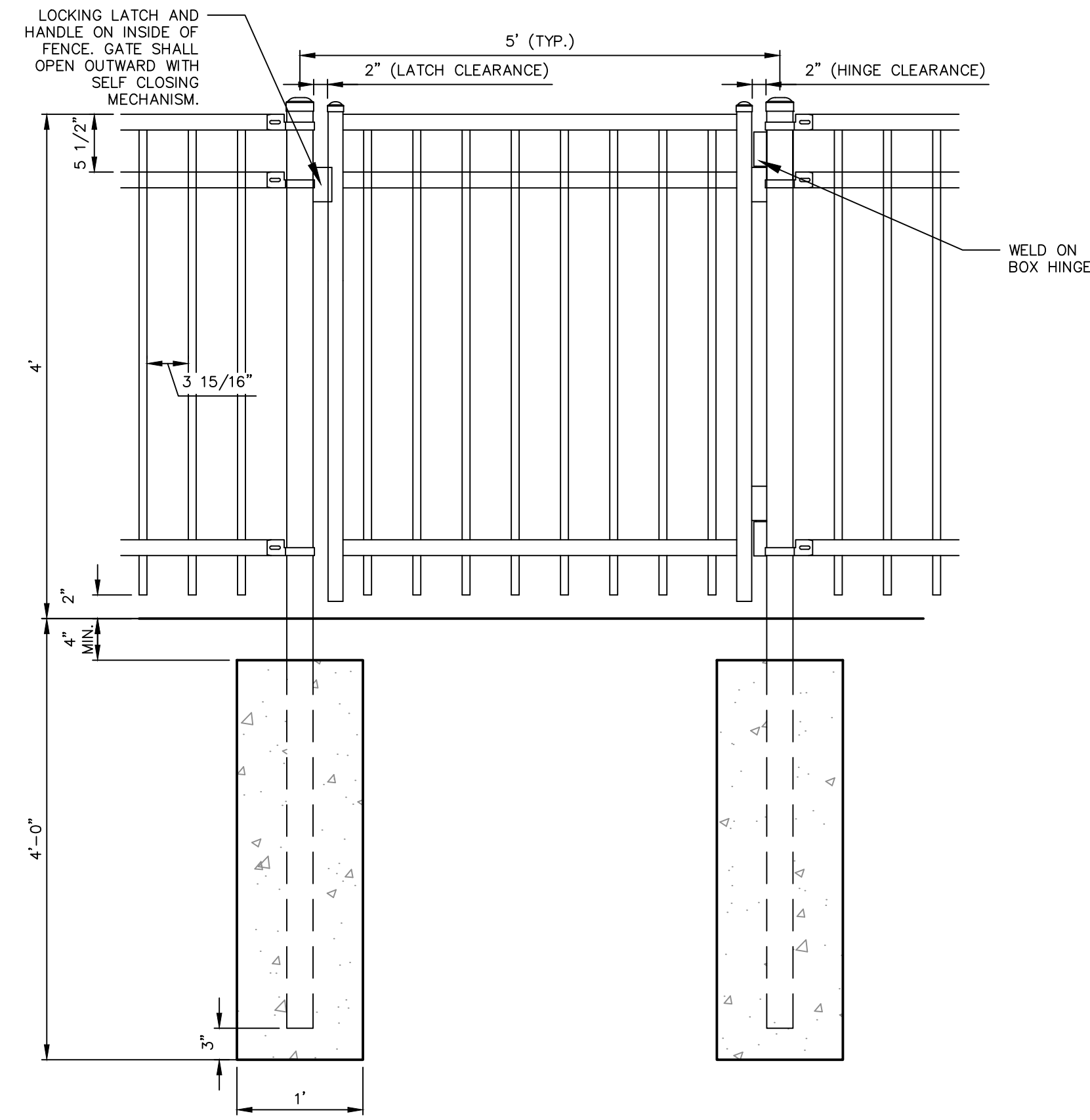


FLUSH CONCRETE CURB
SCALE: NOT TO SCALE

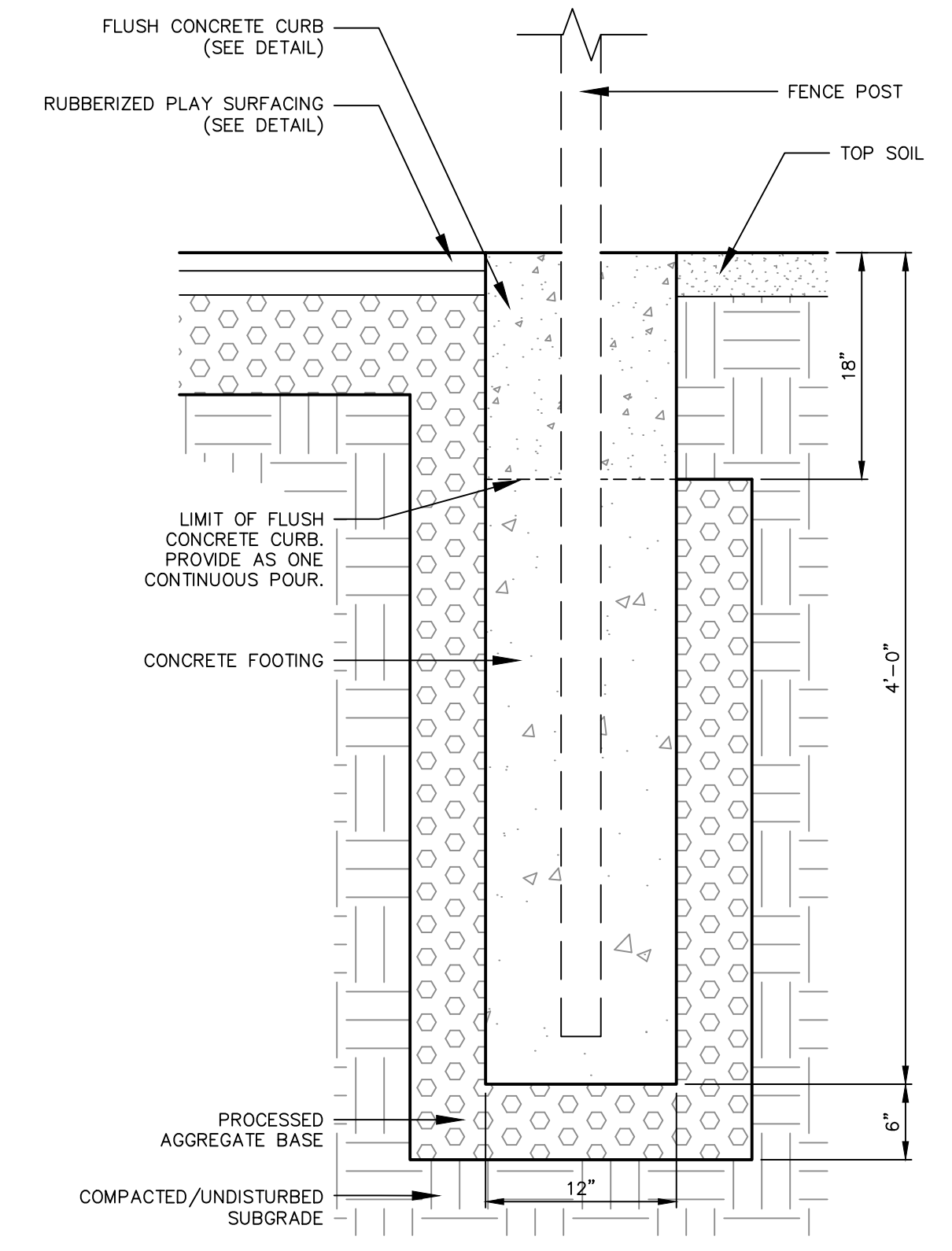


COLORED CONCRETE SEAT WALL
SCALE: N.T.S.

SCALE: HORIZ.: 1" = 10'	
VERT.: 1" = 5'	
DATUM:	
HORIZ.: 1" = 5'	
VERT.: 1" = 5'	

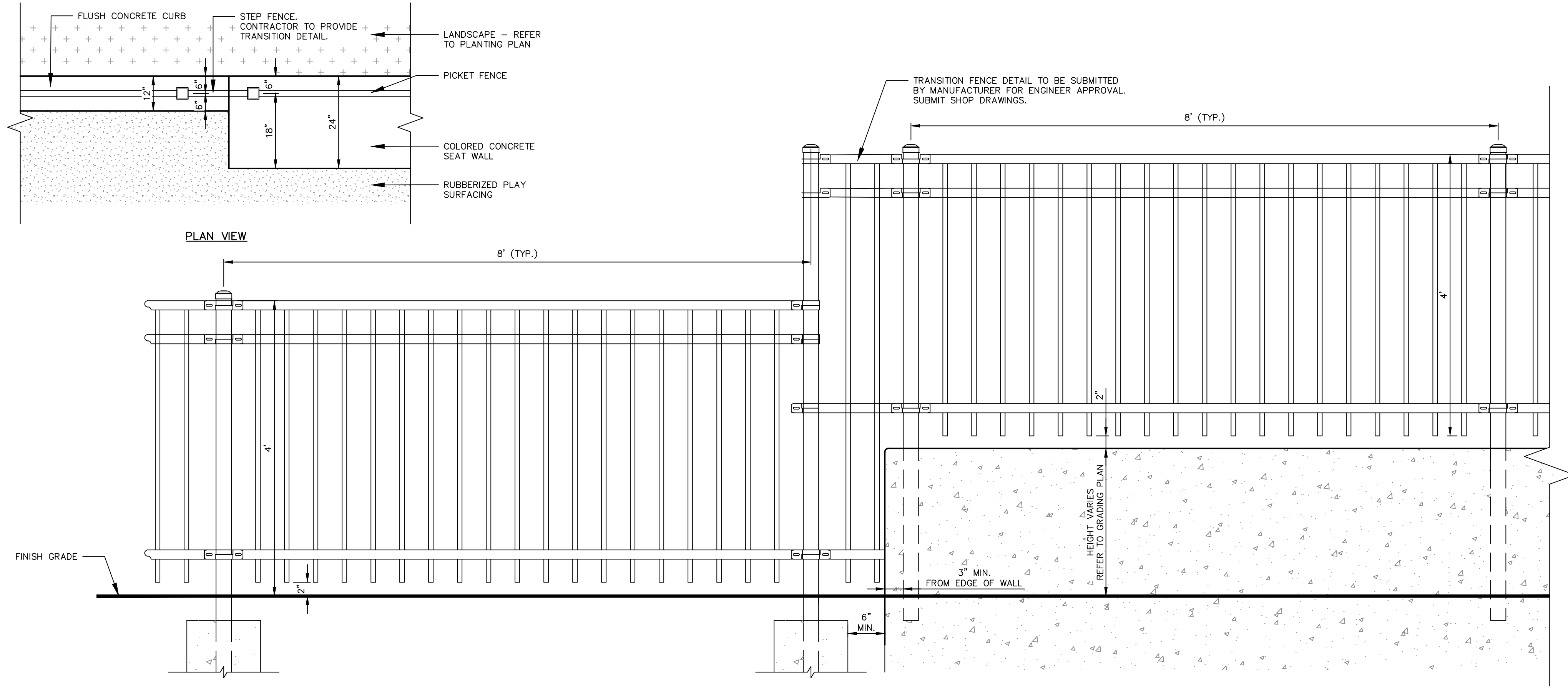


- NOTES:**
1. POST SIZE WILL VARY BASED ON FENCE HEIGHT AND WIND LOAD REQUIREMENTS. CONTRACTOR SHALL VERIFY POST SIZE PRIOR TO INSTALLATION.
 2. FASTENING OF PICKETS TO RAILS VARIES PER MANUFACTURER. CONTRACTOR SHALL REVIEW FASTENING STYLE PRIOR TO INSTALLATION.
 3. MOUNTING OF PANELS TO POST WILL VARY BY MANUFACTURER. CONTRACTOR SHALL REVIEW MOUNTING STYLE PRIOR TO INSTALLATION.
 4. CONTRACTOR SHALL COORDINATE FENCE RACKING LIMITATIONS OF SELECTED MANUFACTURER WITH REQUIREMENTS OF SITE PLAN.
 5. ALL FENCE COMPONENTS SHALL BE ELECTROSTATIC POWDER COATED. COLOR OF FENCE, GATE, AND ALL HARDWARE SHALL BE BLACK IN COLOR.
 6. CONTRACTOR SHALL VERIFY THAT ALL FENCING MEETS APPLICABLE STATE, LOCAL, AND FEDERAL CODES.
 7. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR FENCE AND GATES.
 8. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

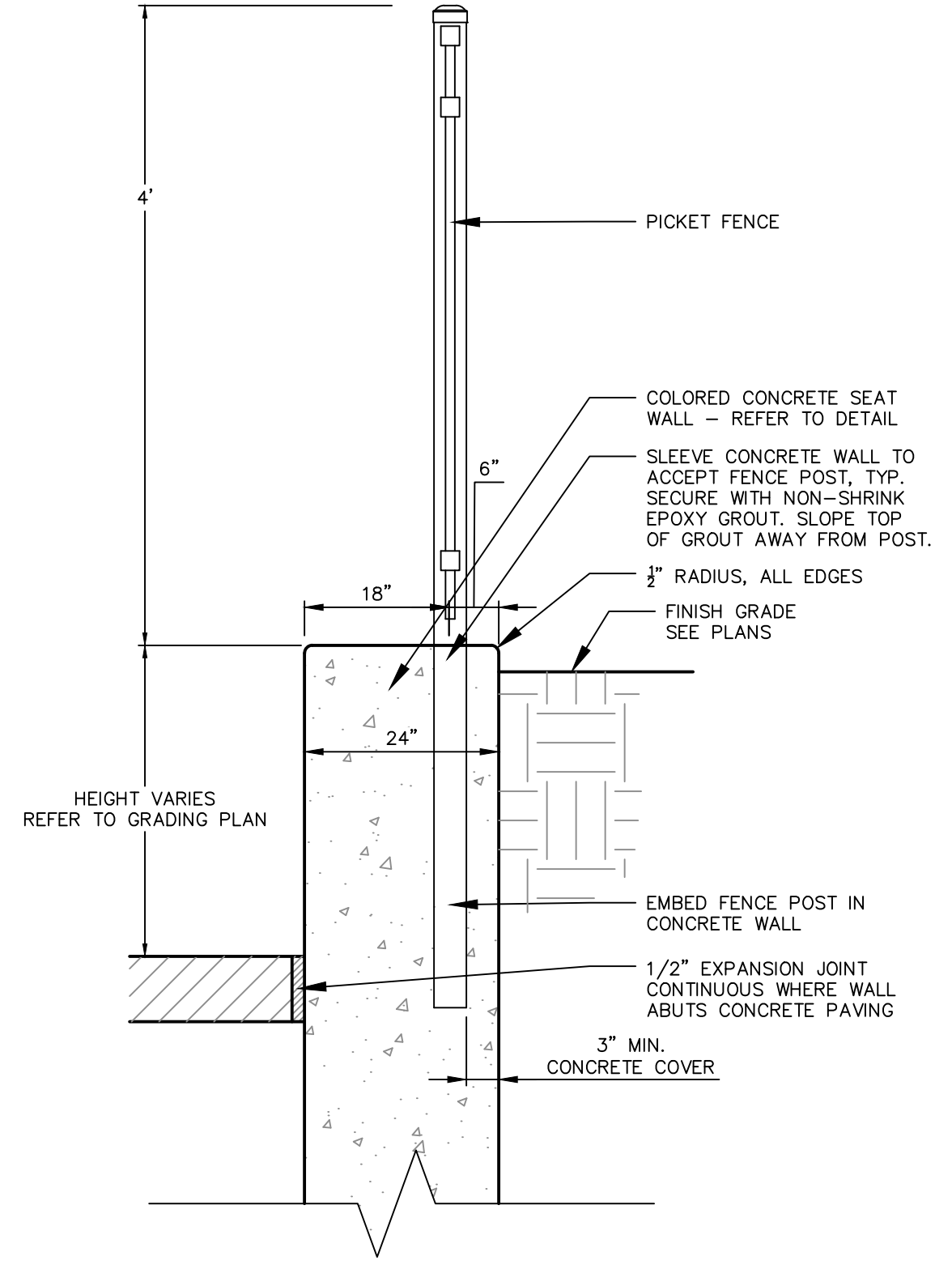


PICKET FENCE & GATE
SCALE: NOT TO SCALE

FENCE POST FOOTING AND FLUSH CURB
SCALE: NOT TO SCALE



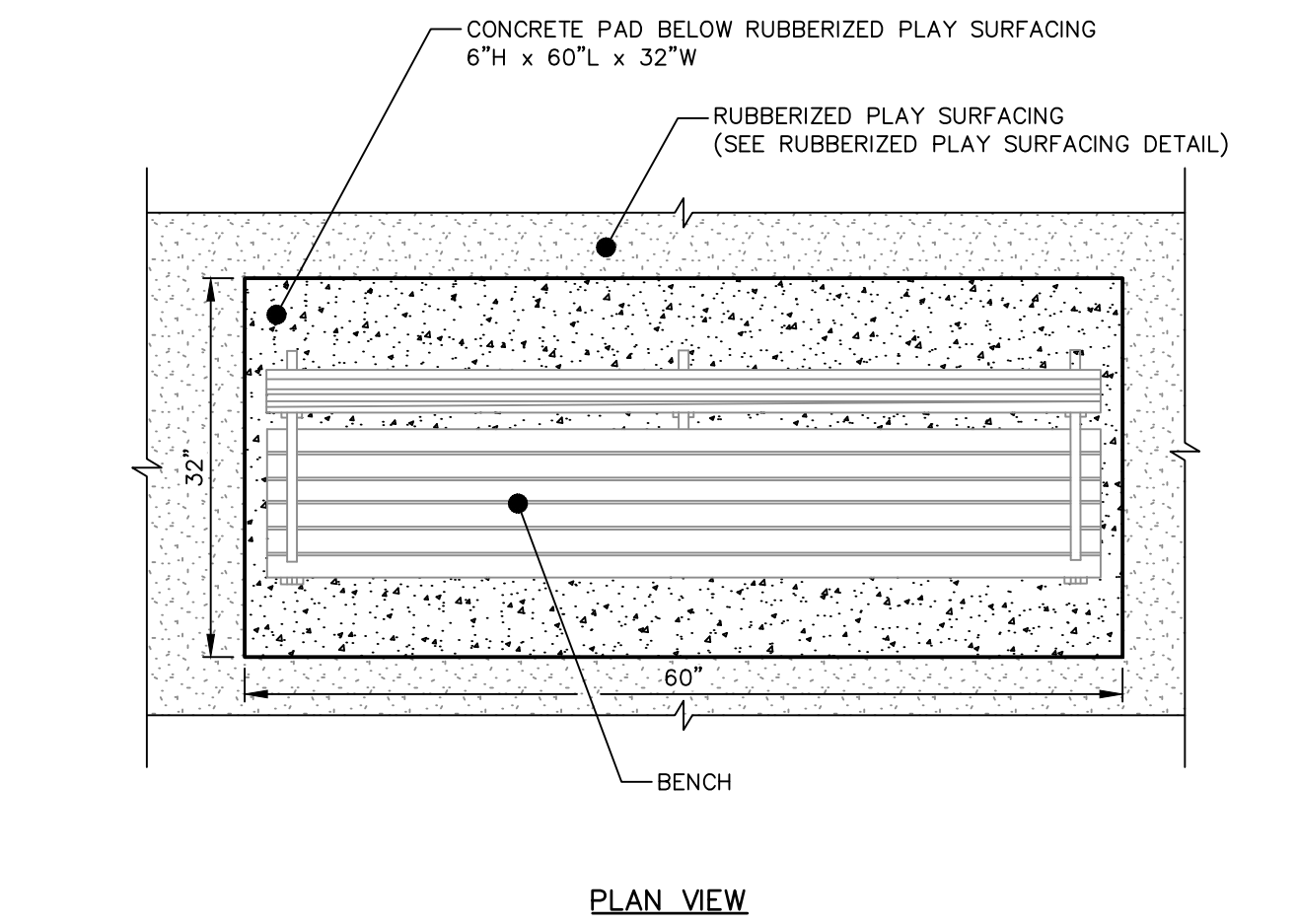
ELEVATION
COLORED CONCRETE SEAT WALL WITH PICKET FENCE
SCALE: NOT TO SCALE



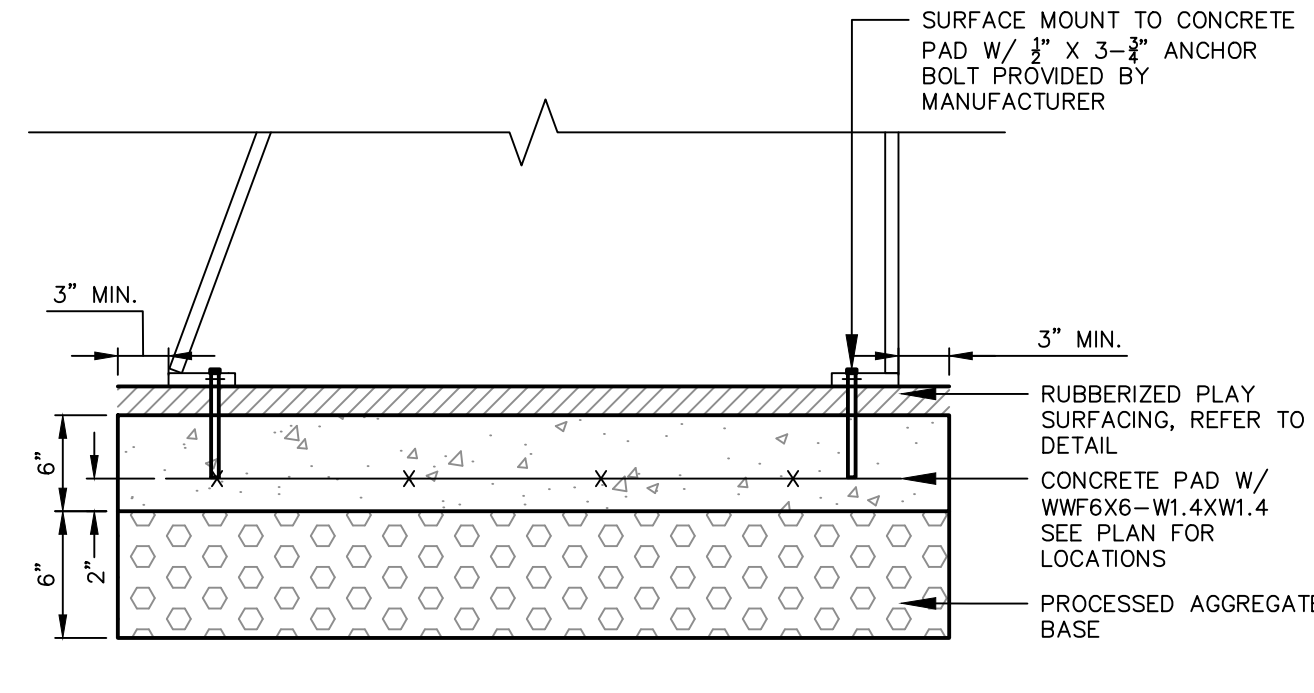
SECTION

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DESIGNER		REVIEWER	
No.		DATE	
DESCRIPTION			
SCALE: 1" = 10'		GRAPHIC SCALE	
FUSS & O'NEILL 146 HARTFORD ROAD WESTPORT, CONNECTICUT 06880 860.646.2460 www.fussandoneill.com			
CITY OF CENTRAL FALLS CONSTRUCTION DETAILS JENKS PARK REDEVELOPMENT PHASE I		RHODE ISLAND CENTRAL FALLS	
PROJ. No.: 20170811.A51		DATE: 09/19/2022	
CD-504			



PLAN VIEW

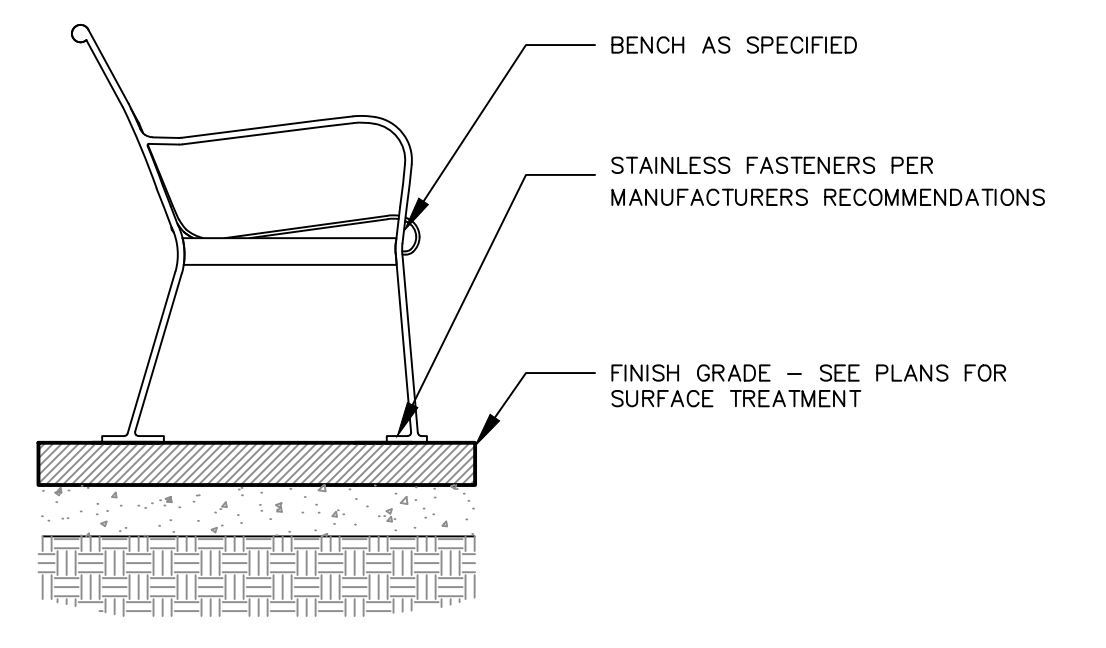


BENCH ON RUBBERIZED PLAY SURFACING
SCALE: NOT TO SCALE



STEELSITES RB COLLECTION

4" BENCH (RB-28)
COLOR: BLACK
VICTOR STANLEY
TOLL FREE: 1-800-368-2573
sales@victorst Stanley.com
(OR APPROVED EQUAL)

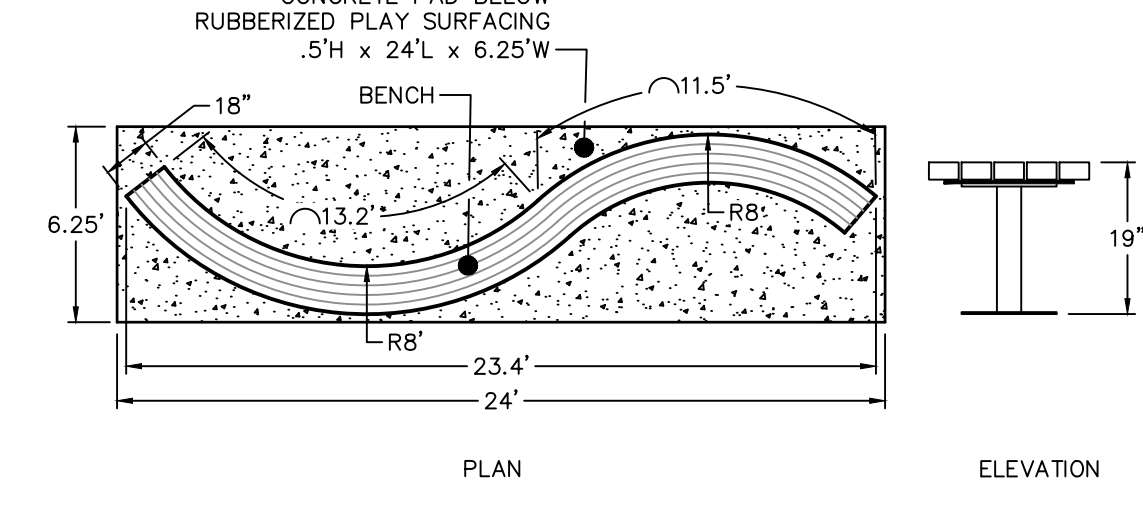


PLAN

ELEVATION

- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. ALL STEEL MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
 3. 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED.

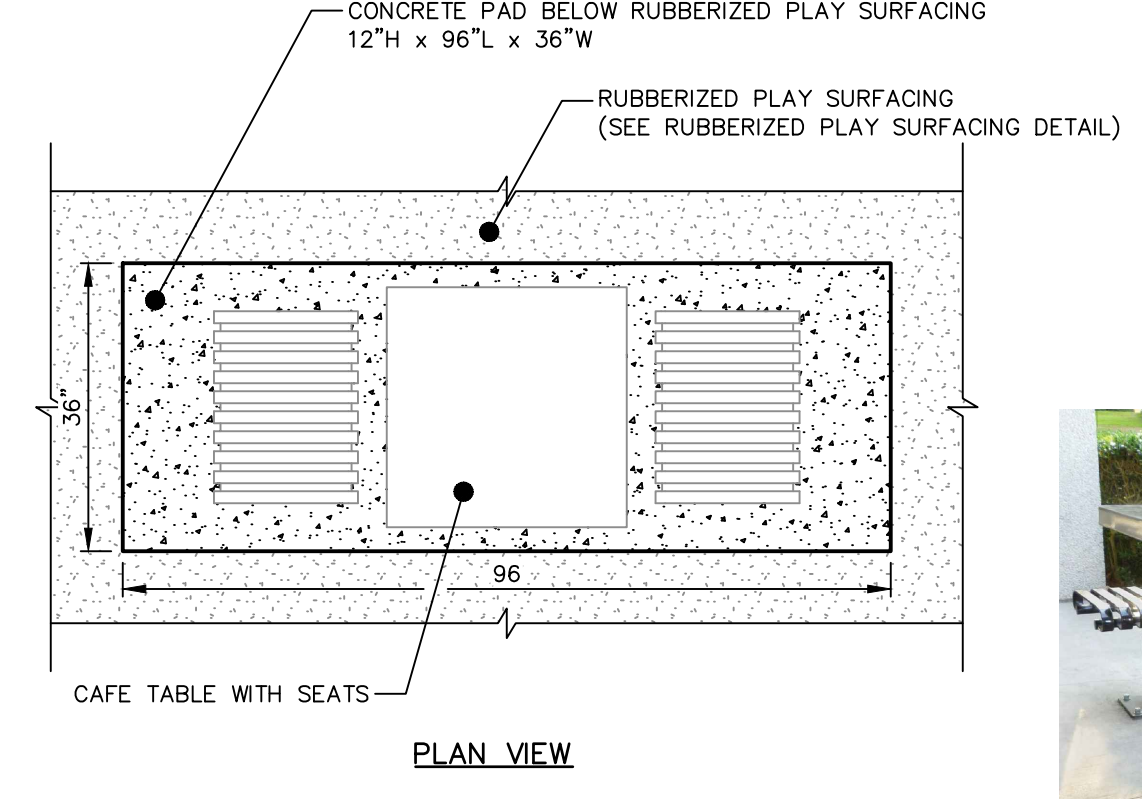
SITE BENCH
SCALE: N.T.S.



SITECRAFT
STANDARD CIRCULAR BENCH - YF
RED CEDAR WOOD SEAT WITH
POWDER COATED BLACK POSTS
SEAT WIDTH 18"
WWW.SITE-CRAFT.COM
(800) 937-0203
(OR APPROVED EQUAL)

- NOTE:**
1. MANUFACTURER TO SUBMIT SHOP DRAWINGS
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

CURVILINEAR PLAYGROUND BENCH
SCALE: N.T.S.

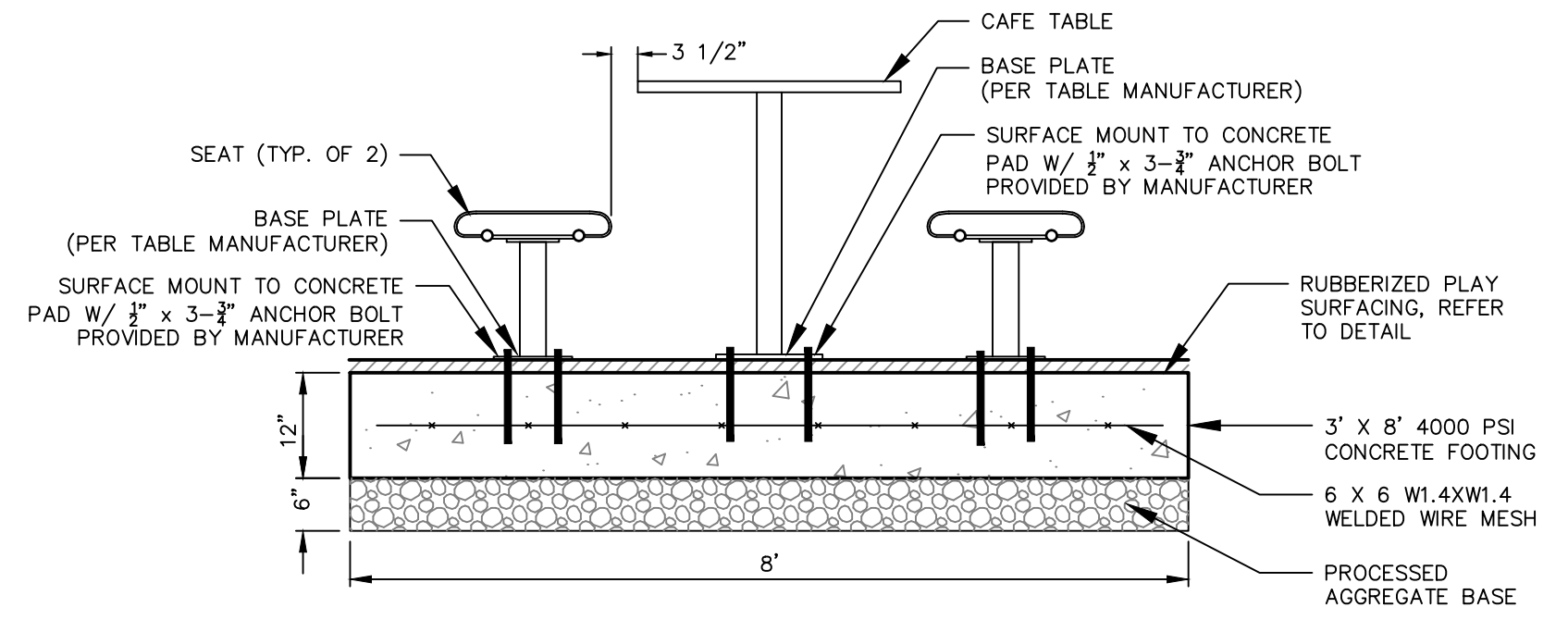


PLAN VIEW

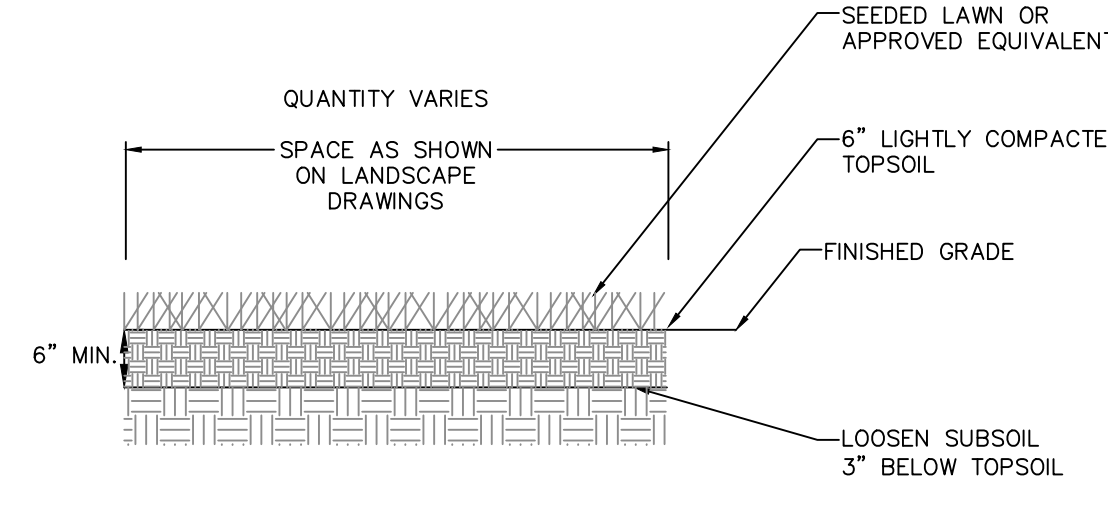


STEELSITES COLLECTION
30" SQUARE CAFE TABLE (SPCT-30)
COLOR: BLACK
24" STEEL SCROLL SEATING (FRS-24)
COLOR: BLACK

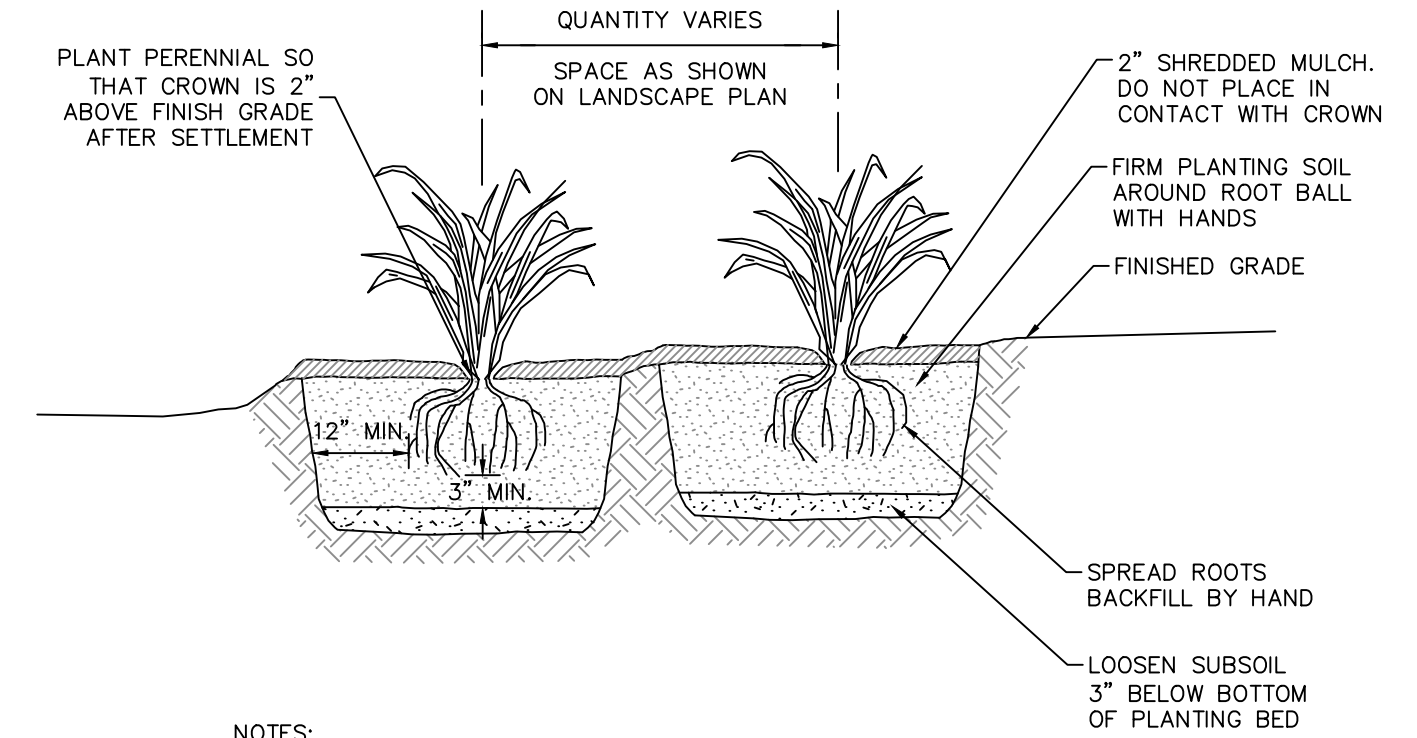
VICTOR STANLEY
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sales@victorst Stanley.com
(OR APPROVED EQUAL)



CAFE TABLE WITH SEATS ON RUBBERIZED PLAY SURFACING
SCALE: NOT TO SCALE

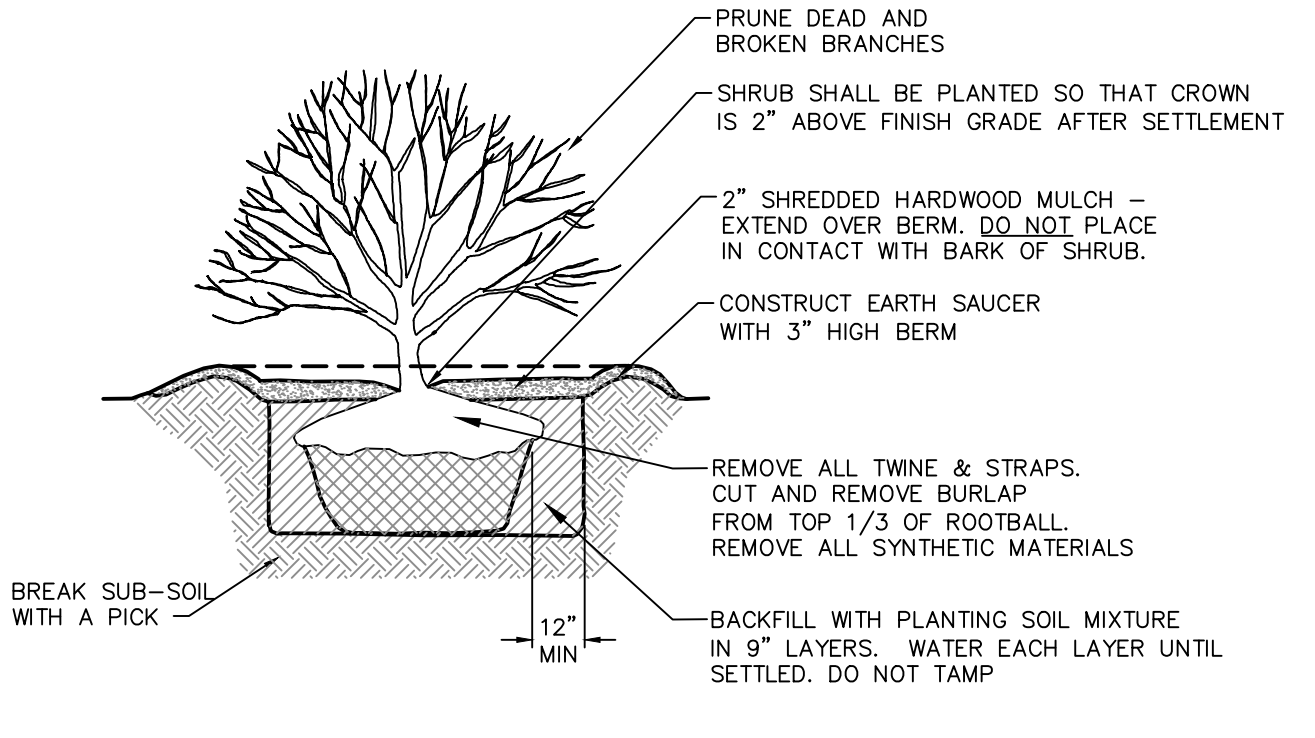


TYPICAL LAWN
NOT TO SCALE



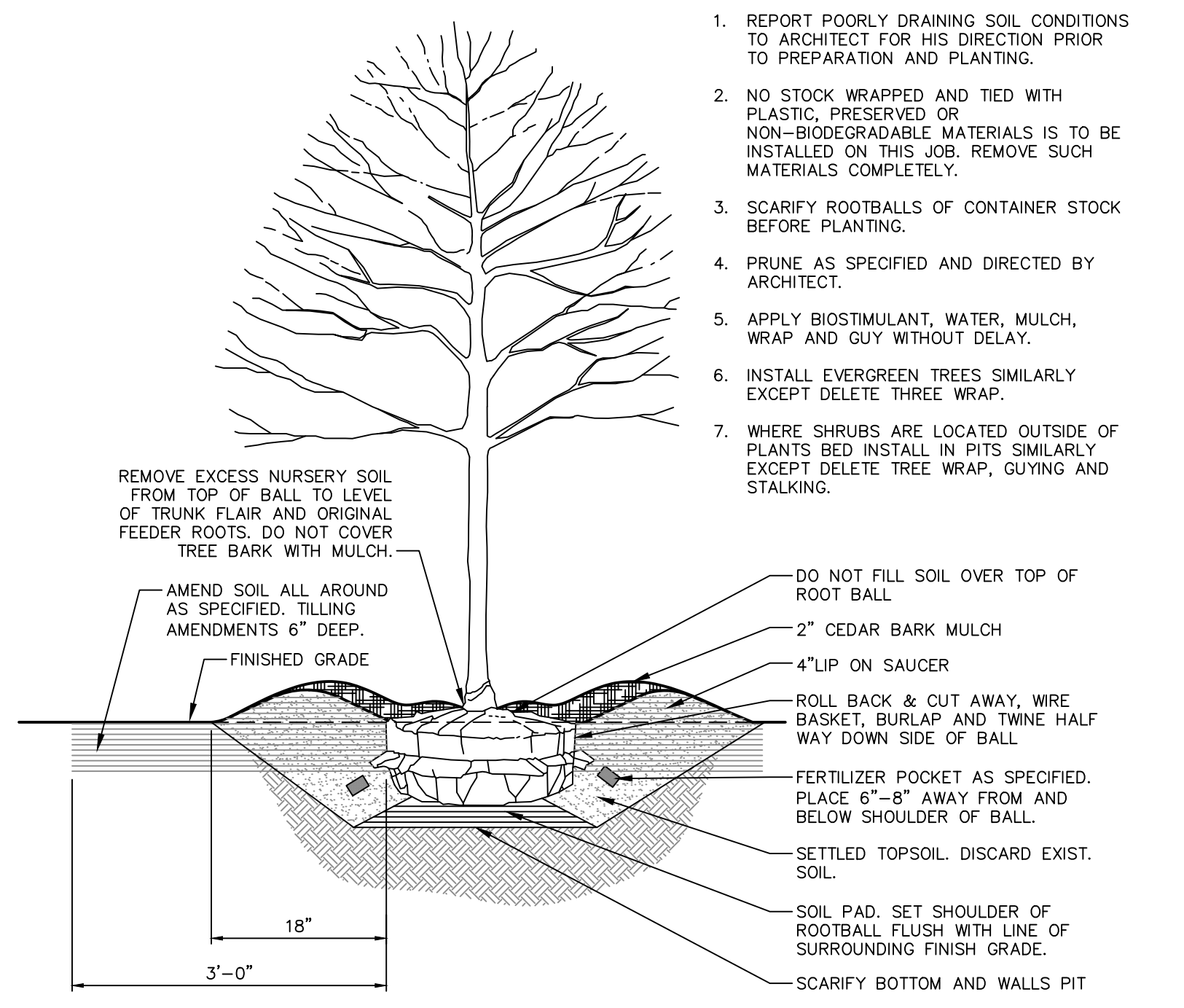
- NOTES:**
1. SPADED PLANTING SOIL MIX (3" BELOW ROOT BALL) ADD FERTILIZER WHEN MIXING. DO NOT COMPACT AFTER PLANTING.
 2. WATER THOROUGHLY AFTER PLANTING.
 3. PROVIDE WELL DRAINING SUBSOIL WHEN SOIL IS HEAVY OR COMPACTED.
 4. FOR CONTAINER GROWN PLANTS, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.

PERENNIAL PLANT BED
NOT TO SCALE



- NOTES:**
1. SPRAY WITH ANTIDESICCANT IN ACCORDANCE WITH MFG.'S RECOMMENDATIONS IF FOLIAGE IS PRESENT.
 2. FOR CONTAINER GROWN SHRUBS, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
 3. INCORPORATE COMMERCIALY PREPARED MYCORRHIZA SPORES IN THE SOIL IMMEDIATELY AROUND THE ROOT BALL AT RATES SPECIFIED BY THE MANUFACTURER.

SHRUB PLANTING DETAIL FOR ALL SHRUBS BALLED & BURLAPPED
NOT TO SCALE



TYPICAL TREE PIT PLANTING
NOT TO SCALE

- NOTES:**
1. REPORT POORLY DRAINING SOIL CONDITIONS TO ARCHITECT FOR HIS DIRECTION PRIOR TO PREPARATION AND PLANTING.
 2. NO STOCK WRAPPED AND TIED WITH PLASTIC, PRESERVED OR NON-BIOGRADABLE MATERIALS IS TO BE INSTALLED ON THIS JOB. REMOVE SUCH MATERIALS COMPLETELY.
 3. SCARIFY ROOTBALLS OF CONTAINER STOCK BEFORE PLANTING.
 4. PRUNE AS SPECIFIED AND DIRECTED BY ARCHITECT.
 5. APPLY BIOSTIMULANT, WATER, MULCH, WRAP AND GUY WITHOUT DELAY.
 6. INSTALL EVERGREEN TREES SIMILARLY EXCEPT DELETE TREE WRAP.
 7. WHERE SHRUBS ARE LOCATED OUTSIDE OF PLANTS BED INSTALL IN PITS SIMILARLY EXCEPT DELETE TREE WRAP, GUYING AND STALKING.

No.	DATE	DESIGNER	REVIEWER
SCALE: HORZ.: 1" = 10' VERT.: DATUM: HORZ.: VERT.: 10 5 0 10 GRAPHIC SCALE			

FUSS & O'NEILL
146 HARTFORD ROAD
MIDDLETOWN, CONNECTICUT 06460
860.646.2660
www.fussandoneill.com

CITY OF CENTRAL FALLS
CONSTRUCTION DETAILS
JENKS PARK REDEVELOPMENT
PHASE I
CENTRAL FALLS, RHODE ISLAND

PROJ. No.: 20170811.A51
DATE: 09/19/2022
CD-505



*NOTE: INSTALL PER MANUFACTURER'S SPECIFICATIONS & SUBMIT FULLY ENGINEERED SHOP DRAWINGS FOR FOOTINGS

PLAY STRUCTURE – AGES 5–12 YEARS – ECLIPSE NET PLUS W/3–5 ATTACH POINTS

NOT TO SCALE
 MANUFACTURER: LANDSCAPE STRUCTURE. (OR APPROVED EQUAL)
 TELEPHONE: 1-888-438-6574
 ADDRESS: 601 7TH STREET SOUTH DELANO, MN 55328
 PLAYGROUND EQUIPMENT MODEL: 201041, 258230, 158105, 150637, 156450, 156462, 158105, 182503



*NOTE: INSTALL PER MANUFACTURER'S SPECIFICATIONS & SUBMIT FULLY ENGINEERED SHOP DRAWINGS FOR FOOTINGS

STARBURST CLIMBER

NOT TO SCALE
 MANUFACTURER: LANDSCAPE STRUCTURE. (OR APPROVED EQUAL)
 TELEPHONE: 1-888-438-6574
 ADDRESS: 601 7TH STREET SOUTH DELANO, MN 55328
 PLAYGROUND EQUIPMENT MODEL: 158426



*NOTE: INSTALL PER MANUFACTURER'S SPECIFICATIONS & SUBMIT FULLY ENGINEERED SHOP DRAWINGS FOR FOOTINGS

ROLLERSLIDE (+56")

NOT TO SCALE
 MANUFACTURER: LANDSCAPE STRUCTURE. (OR APPROVED EQUAL)
 TELEPHONE: 1-888-438-6574
 ADDRESS: 601 7TH STREET SOUTH DELANO, MN 55328
 PLAYGROUND EQUIPMENT MODEL: 123333, 111345



*NOTE: INSTALL PER MANUFACTURER'S SPECIFICATIONS & SUBMIT FULLY ENGINEERED SHOP DRAWINGS FOR FOOTINGS

PLAY STRUCTURE – AGES 2–5 YEARS – PLAYSHAPER

NOT TO SCALE
 MANUFACTURER: LANDSCAPE STRUCTURE. (OR APPROVED EQUAL)
 TELEPHONE: 1-888-438-6574
 ADDRESS: 601 7TH STREET SOUTH DELANO, MN 55328
 PLAYGROUND EQUIPMENT MODEL: 111364, 132155, 153020, 152432, 173572, 111284, 173569, 144984, 182503, 120710, 120711



*NOTE: INSTALL PER MANUFACTURER'S SPECIFICATIONS & SUBMIT FULLY ENGINEERED SHOP DRAWINGS FOR FOOTINGS

DOUBLE WAVE SLIDE (+48")

NOT TO SCALE
 MANUFACTURER: LANDSCAPE STRUCTURE. (OR APPROVED EQUAL)
 TELEPHONE: 1-888-438-6574
 ADDRESS: 601 7TH STREET SOUTH DELANO, MN 55328
 PLAYGROUND EQUIPMENT MODEL: 123336, 111345

GENERAL NOTE
 ALL PLAYSCAPE DESIGN DETAILS AND SPECIFICATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL SUBMIT TO LANDSCAPE ARCHITECT FULLY ENGINEERED PLAYGROUND COMPONENT PLANS, DETAILS AND SPECIFICATIONS INCLUDING, BUT NOT LIMITED TO: RUBBERIZED SURFACING, PLAY EQUIPMENT, FOOTINGS, AND FENCING IN SUBSTANTIAL CONFORMANCE WITH DETAILS SHOWN HEREIN.



*NOTE: INSTALL PER MANUFACTURER'S SPECIFICATIONS & SUBMIT FULLY ENGINEERED SHOP DRAWINGS FOR FOOTINGS

SWING – TODDLER & 5–12 YEARS

NOT TO SCALE
 MANUFACTURER: LANDSCAPE STRUCTURE. (OR APPROVED EQUAL)
 TELEPHONE: 1-888-438-6574
 ADDRESS: 601 7TH STREET SOUTH DELANO, MN 55328
 PLAYGROUND EQUIPMENT MODEL: 176038, 177337, 174018, 177332



*NOTE: INSTALL PER MANUFACTURER'S SPECIFICATIONS & SUBMIT FULLY ENGINEERED SHOP DRAWINGS FOR FOOTINGS

GLOBAL MOTION

NOT TO SCALE
 MANUFACTURER: LANDSCAPE STRUCTURE. (OR APPROVED EQUAL)
 TELEPHONE: 1-888-438-6574
 ADDRESS: 601 7TH STREET SOUTH DELANO, MN 55328
 PLAYGROUND EQUIPMENT MODEL: 218915



*NOTE: INSTALL PER MANUFACTURER'S SPECIFICATIONS & SUBMIT FULLY ENGINEERED SHOP DRAWINGS FOR FOOTINGS

CURVA SPINNER

NOT TO SCALE
 MANUFACTURER: LANDSCAPE STRUCTURE. (OR APPROVED EQUAL)
 TELEPHONE: 1-888-438-6574
 ADDRESS: 601 7TH STREET SOUTH DELANO, MN 55328
 PLAYGROUND EQUIPMENT MODEL: 247179



*NOTE: INSTALL PER MANUFACTURER'S SPECIFICATIONS & SUBMIT FULLY ENGINEERED SHOP DRAWINGS FOR FOOTINGS

SENSORY PLAY CENTER WALL

NOT TO SCALE
 MANUFACTURER: LANDSCAPE STRUCTURE. (OR APPROVED EQUAL)
 TELEPHONE: 1-888-438-6574
 ADDRESS: 601 7TH STREET SOUTH DELANO, MN 55328
 PLAYGROUND EQUIPMENT MODEL: 168100, 168101, 168661, 168666, 177715, 177721, 168106

File: J:\DWG\2017\0811\A51\Civil\Plan\20170811A51_DET01.dwg Layout: CD-506 Plotted: 2022-09-16 4:13 PM Saved: 2022-09-16 3:51 PM User: NMarcell
 PC3: AUTOCAD PDF (GENERAL DOCUMENTATION)\PC3_STB\CTB: FO STB
 LAYER STATE:

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

FUSS & O'NEILL
 146 HARTFORD ROAD
 WETHERFIELD, CONNECTICUT 06090
 860.646.2460
 www.fandob.com



CITY OF CENTRAL FALLS
 CONSTRUCTION DETAILS
 JENKS PARK REDEVELOPMENT
 PHASE I
 CENTRAL FALLS RHODE ISLAND

PROJ. No.: 20170811.A51
 DATE: 09/19/2022

CD-506

COMMON ABBREVIATIONS

(USE OF PUNCTUATION IS OPTIONAL)

Table listing common abbreviations and their full names, categorized by room type or material. Includes entries like ABV ABOVE, ACC. ACCESS, ADA AMERICANS WITH DISABILITY ACT, etc.

GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS IN EFFECT AT THE PROJECT SITE.
2. DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS.
3. THE CONTRACTOR SHALL REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING.

GENERAL LEGEND

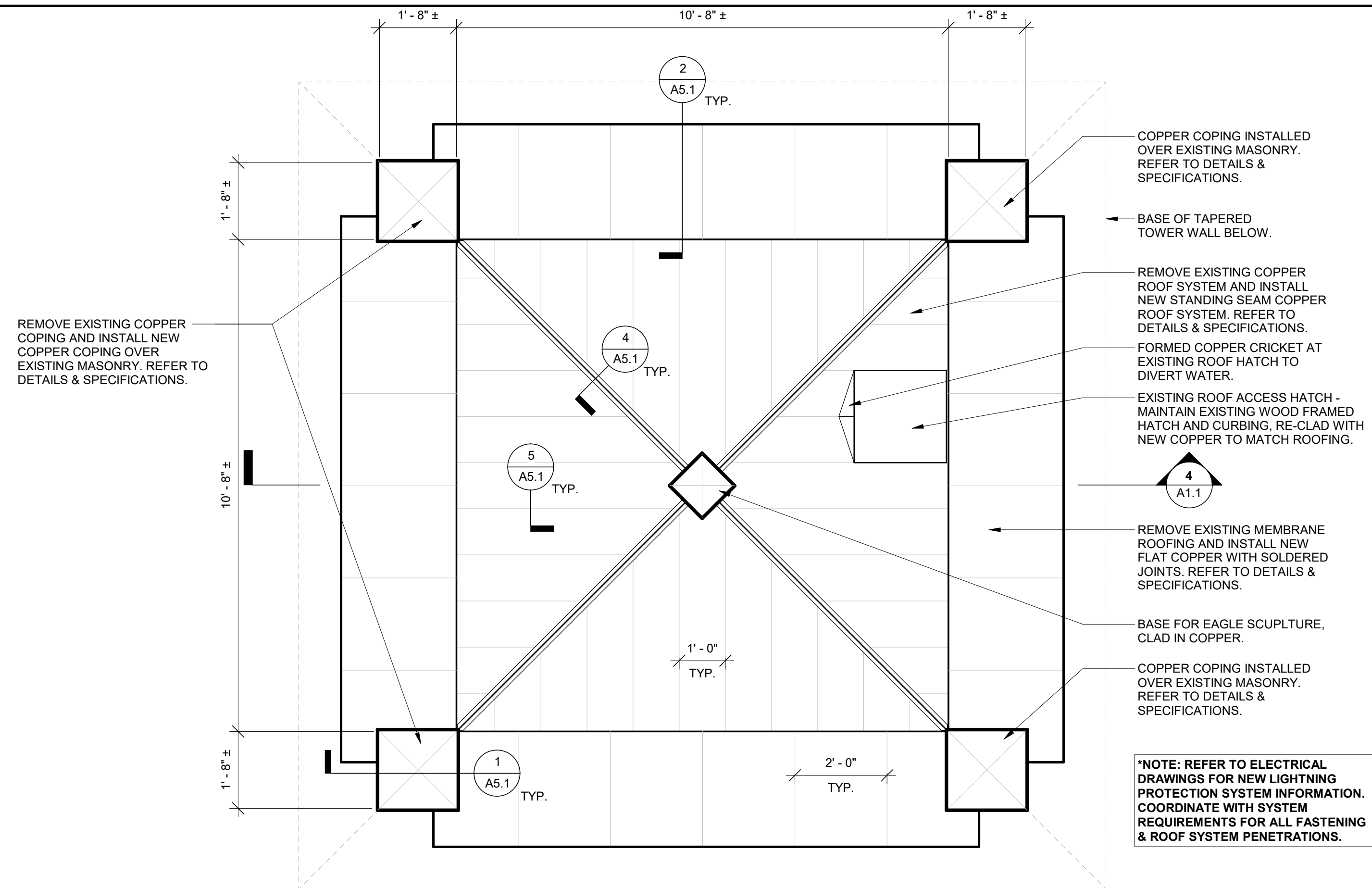
Table mapping hatching patterns to materials and symbols to construction details. Includes BATT INSULATION, BRICK, CONCRETE, etc.

DISCLAIMER: HATCH PATTERN SCALE ADJUSTS BY DRAWING SCALE. SEE OTHER DESIGN DISCIPLINES FOR ADDITIONAL LEGEND & SCHEDULE INFORMATION.

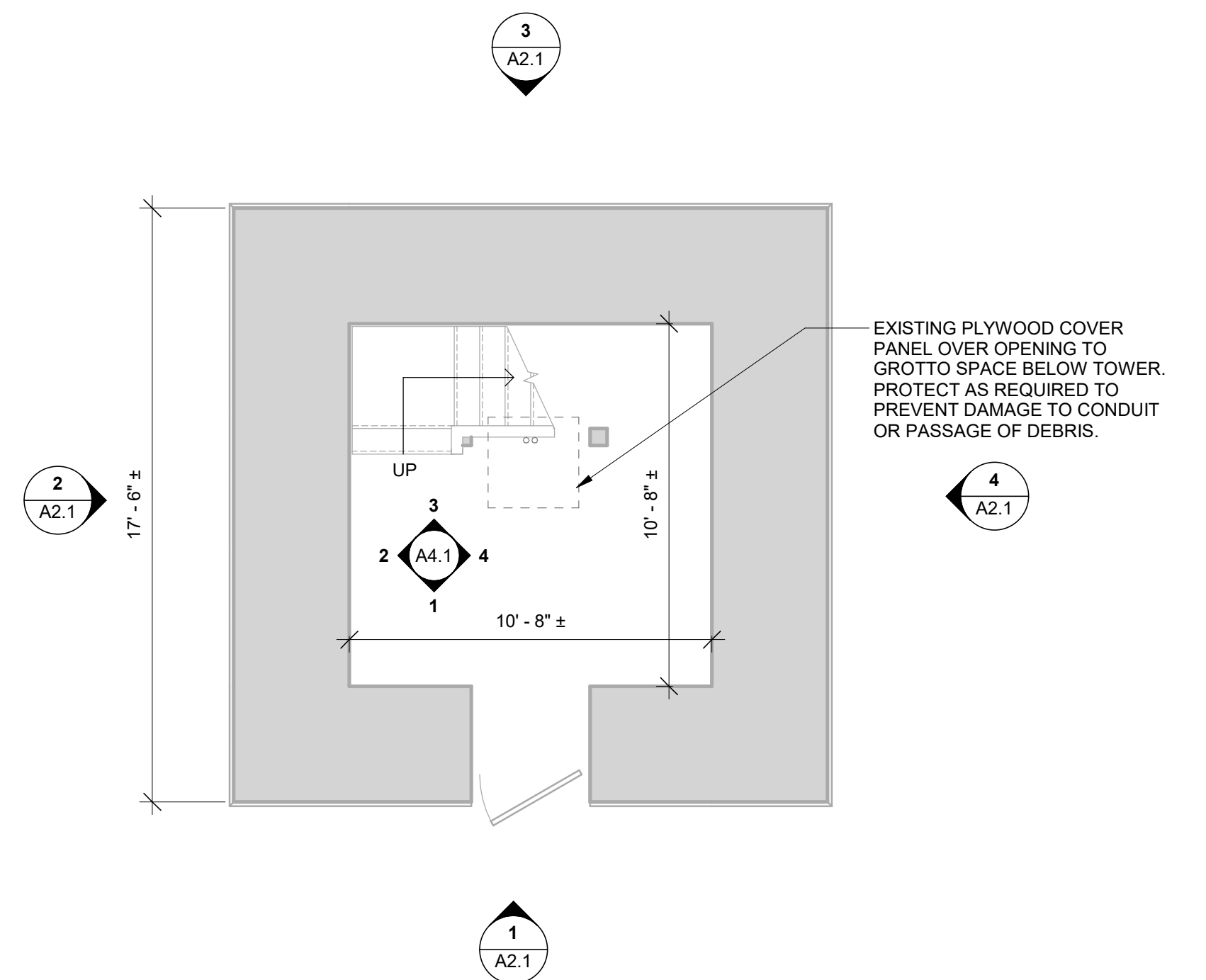
Table mapping symbols to construction details and notes. Includes EXTERIOR ELEVATION, INTERIOR ELEVATION, SECTION, DETAIL, etc.

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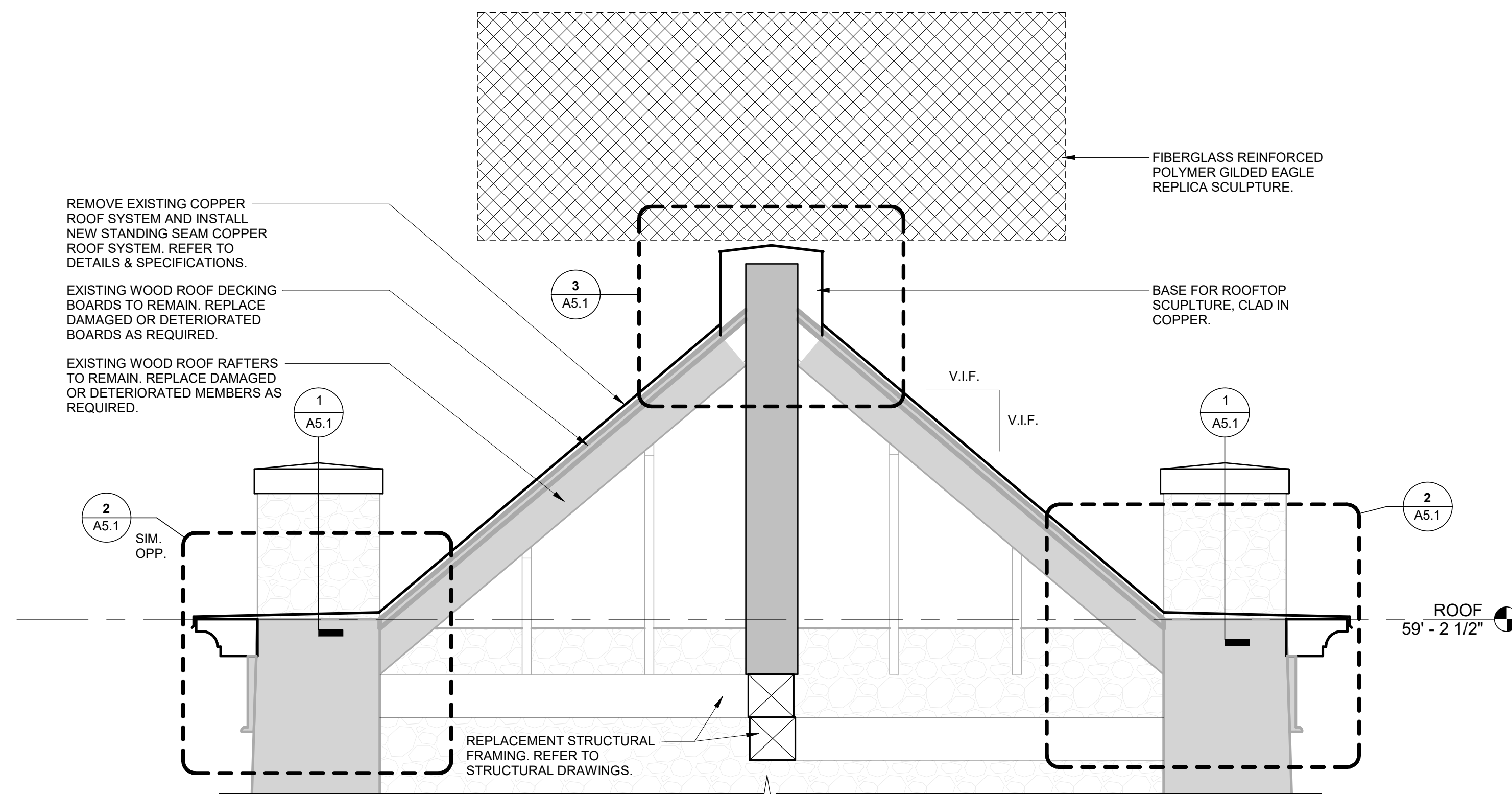
Project title block containing: No., DATE, DESCRIPTION, DESIGNER, REVIEWER, SEAL, BREWSTER THORNTON GROUP ARCHITECTS, 317 Iron Horse Way, Suite 202, Providence, RI 02908, 401.861.1600, brewsterthornton.com, SCALE: 12" = 1'-0", DATUM, FUSS & O'NEILL, CITY OF CENTRAL FALLS, JENKS PARK REDEVELOPMENT - PHASE I, COGSWELL TOWER, CENTRAL FALLS, RHODE ISLAND, PROJ. No.: 2138, DATE: 09/16/22, A0.1



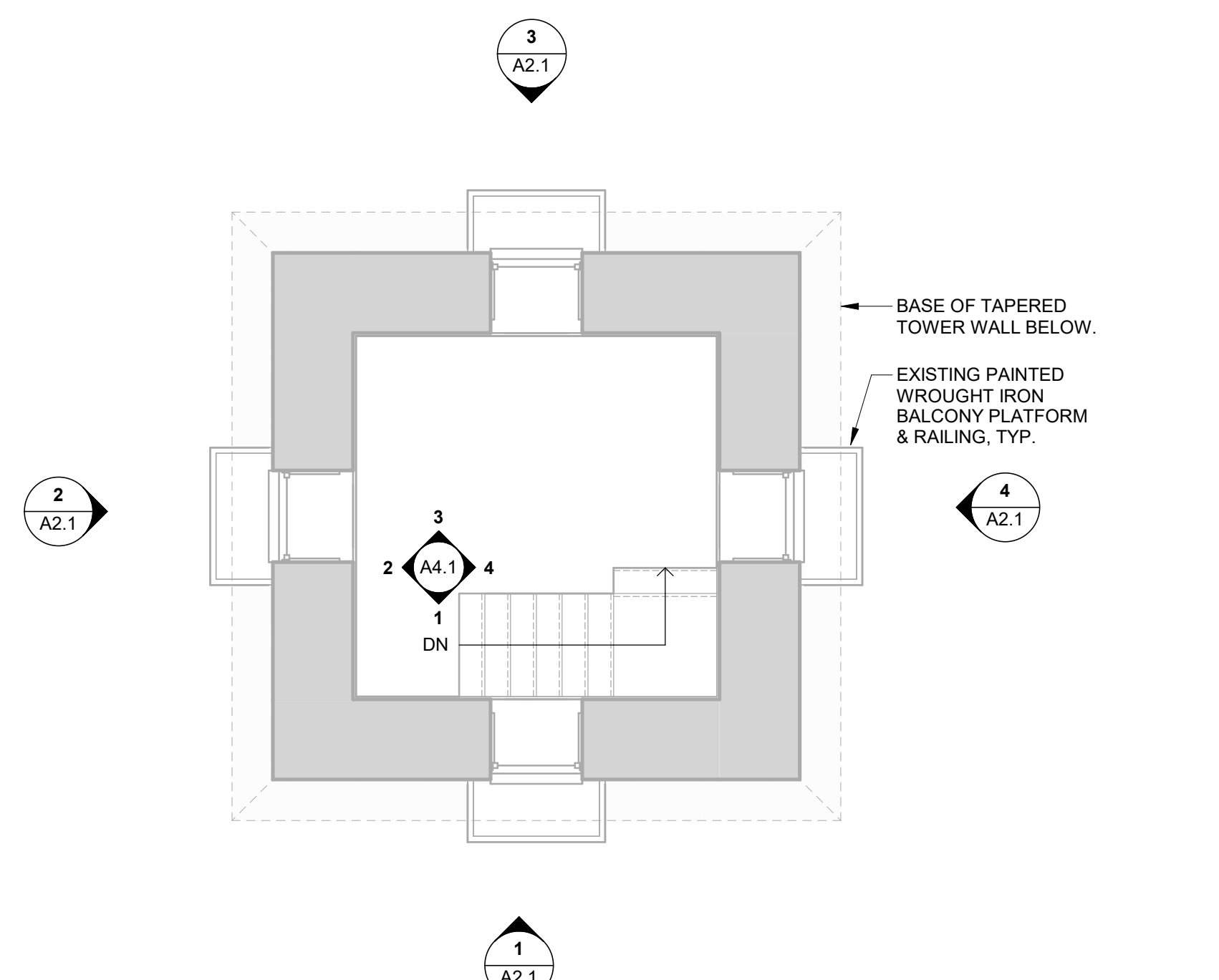
3 ROOF PLAN
Scale: 1/2" = 1'-0"



1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"



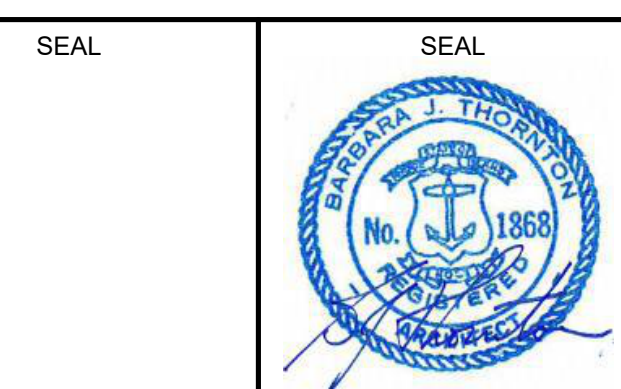
4 ROOF SECTION
Scale: 3/4" = 1'-0"



2 BALCONY LANDING PLAN
Scale: 1/4" = 1'-0"

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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER



BREWSTER THORNTON GROUP ARCHITECTS LLP

317 Iron Horse Way,
Suite 202
Providence, RI 02908

401.861.1600
brewsterthornton.com

SCALE: As indicated

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VERT.:	
DATUM:	
HORIZ.:	
VERT.:	

GRAPHIC SCALE

FUSS & O'NEILL

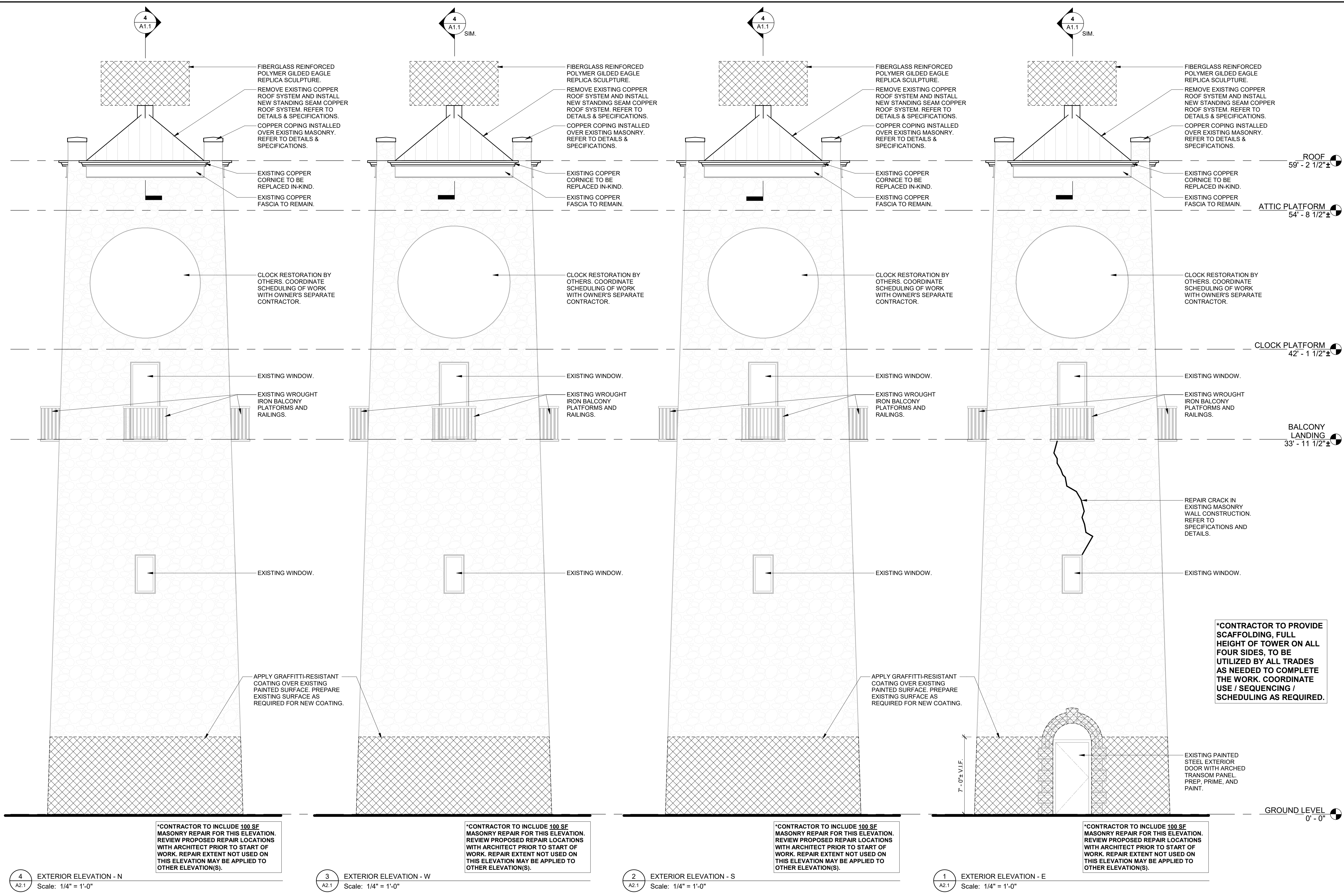
146 Hartford Road
Manchester, Connecticut 06040
860.646.2469
www.fundo.com

CITY OF CENTRAL FALLS
FLOOR PLANS, ROOF PLAN & SECTION
JENKS PARK REDEVELOPMENT - PHASE I
COGSWELL TOWER

CENTRAL FALLS RHODE ISLAND

PROJ. No.: 2138
DATE: 09/16/22

A1.1



4 A2.1 EXTERIOR ELEVATION - N
 Scale: 1/4" = 1'-0"

3 A2.1 EXTERIOR ELEVATION - W
 Scale: 1/4" = 1'-0"

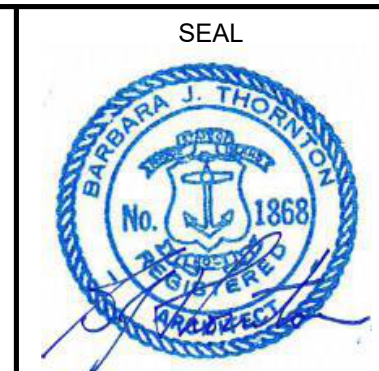
2 A2.1 EXTERIOR ELEVATION - S
 Scale: 1/4" = 1'-0"

1 A2.1 EXTERIOR ELEVATION - E
 Scale: 1/4" = 1'-0"

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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

SEAL



BREWSTER THORNTON GROUP ARCHITECTS LLP

317 Iron Horse Way,
 Suite 202
 Providence, RI 02908

401.861.1600
 brewsterthornton.com

SCALE: 1/4" = 1'-0"

HORZ.:	
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GRAPHIC SCALE

f FUSS & O'NEILL

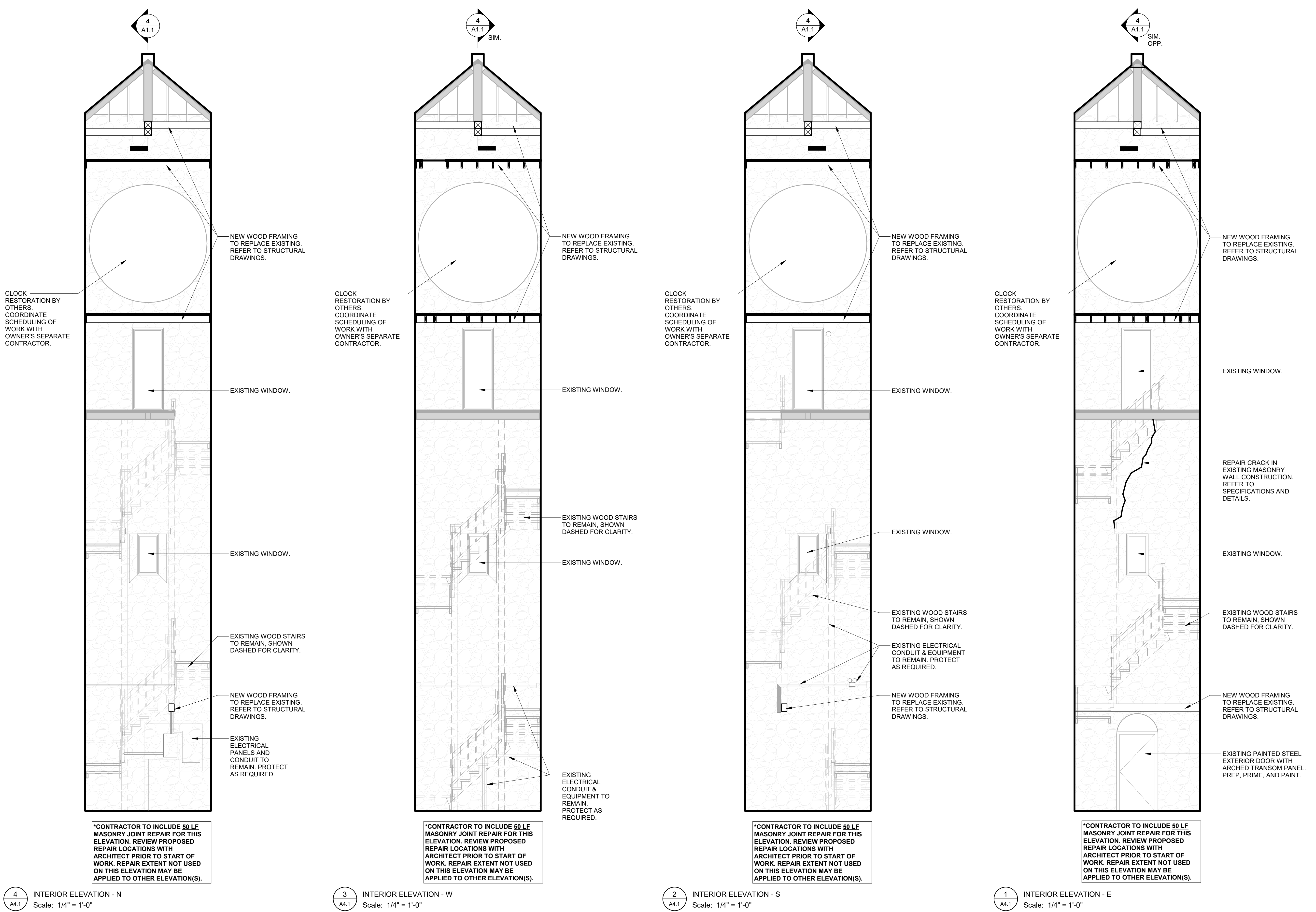
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 Manchester, Connecticut 06040
 860.646.2469
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CITY OF CENTRAL FALLS
 EXTERIOR ELEVATIONS
 JENKS PARK REDEVELOPMENT - PHASE I
 COGSWELL TOWER

CENTRAL FALLS RHODE ISLAND

PROJ. No.: 2138
 DATE: 09/16/22

A2.1



4 INTERIOR ELEVATION - N
Scale: 1/4" = 1'-0"

3 INTERIOR ELEVATION - W
Scale: 1/4" = 1'-0"

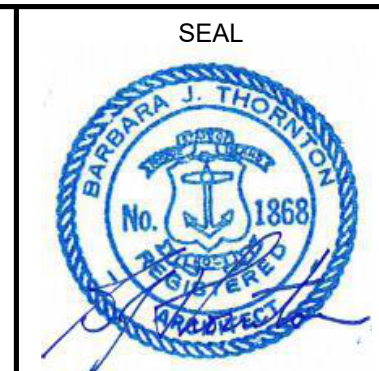
2 INTERIOR ELEVATION - S
Scale: 1/4" = 1'-0"

1 INTERIOR ELEVATION - E
Scale: 1/4" = 1'-0"

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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

SEAL



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SCALE: 1/4" = 1'-0"

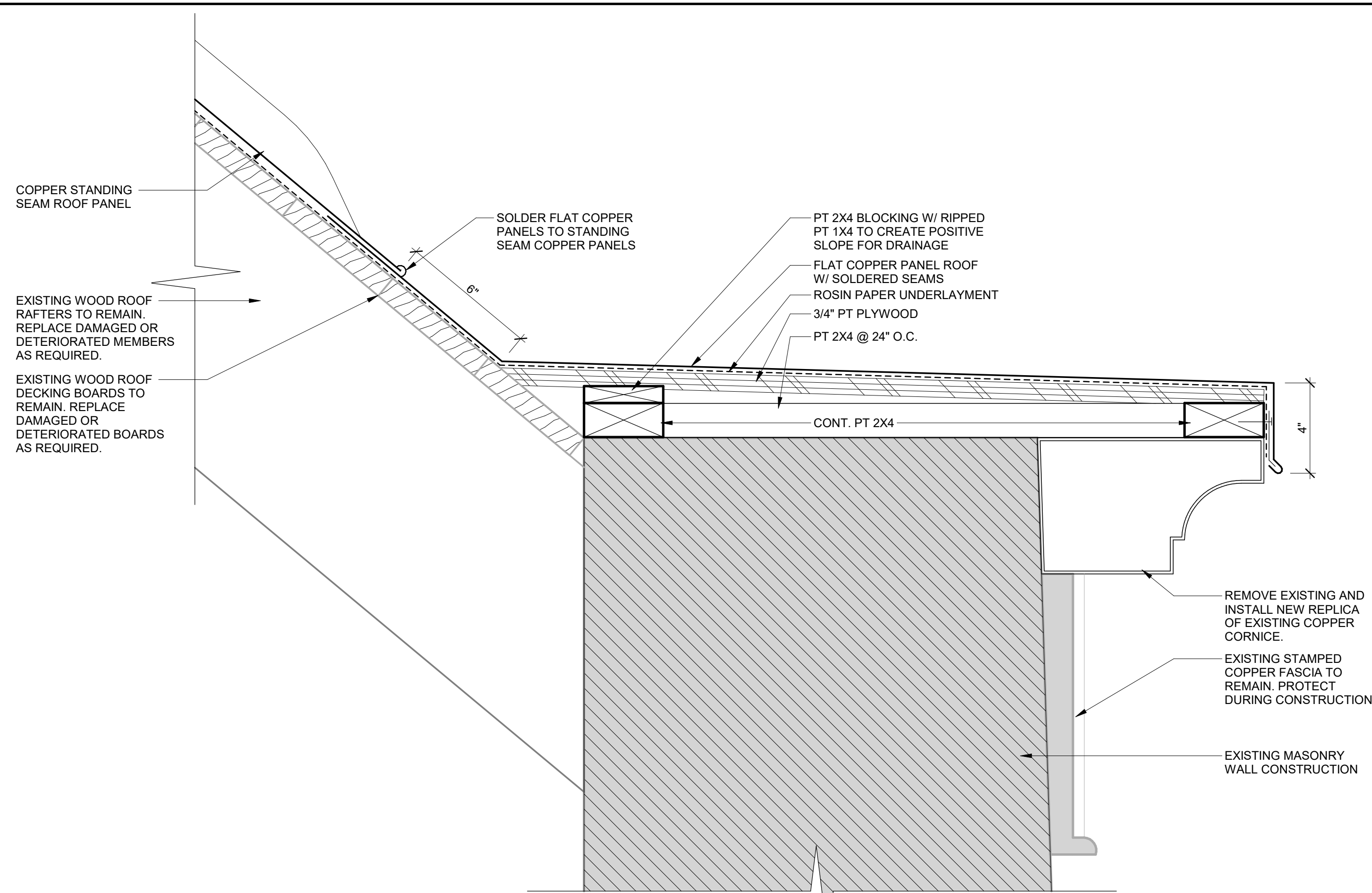
HORZ.:	1/4" = 1'-0"
VERT.:	
DATUM:	
HORZ.:	
VERT.:	

GRAPHIC SCALE

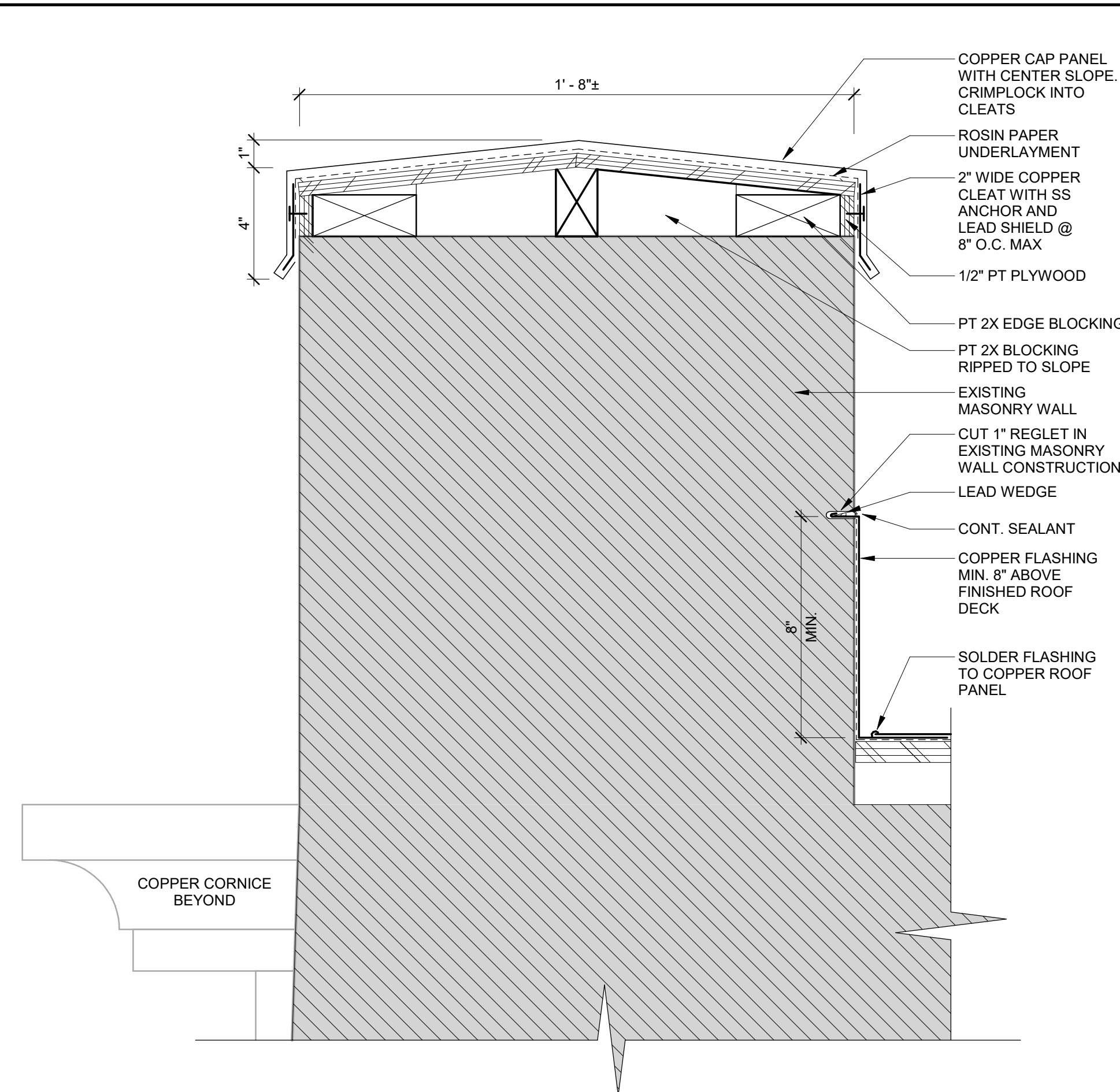
CITY OF CENTRAL FALLS
INTERIOR ELEVATIONS
JENKS PARK REDEVELOPMENT - PHASE I
COGSWELL TOWER

CENTRAL FALLS RHODE ISLAND

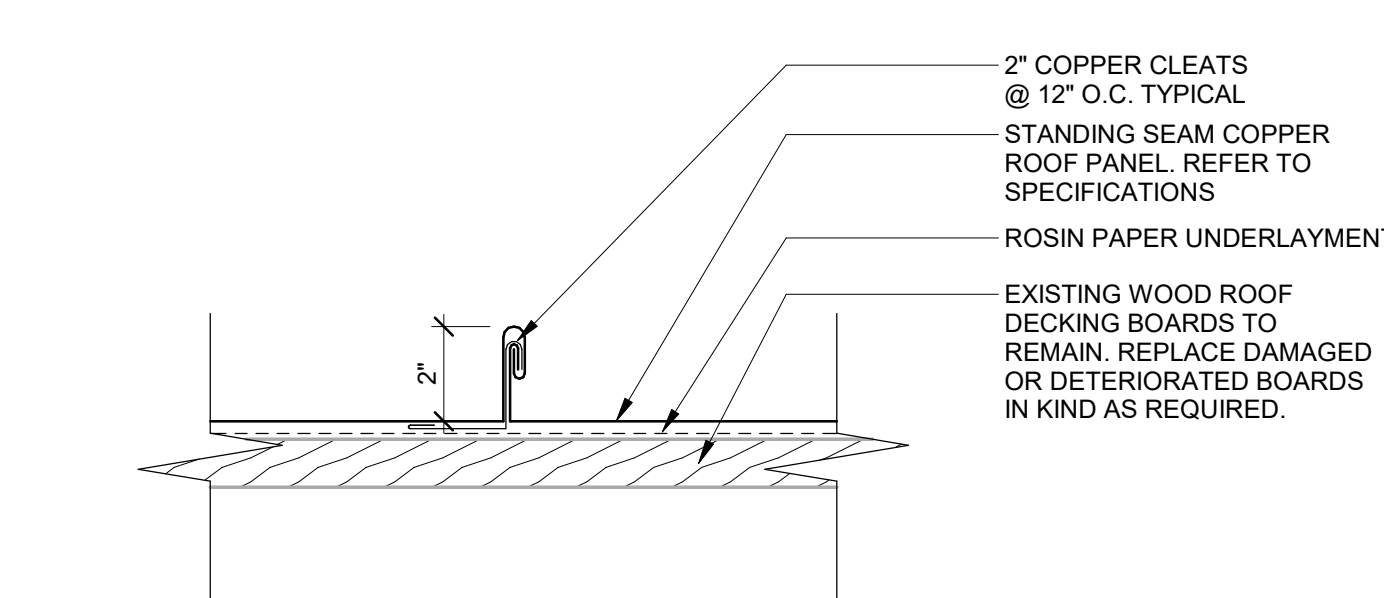
PROJ. No.:	2138
DATE:	09/16/22
A4.1	



2 SECTION DETAIL AT ROOF TO WALL
A5.1 Scale: 3" = 1'-0"

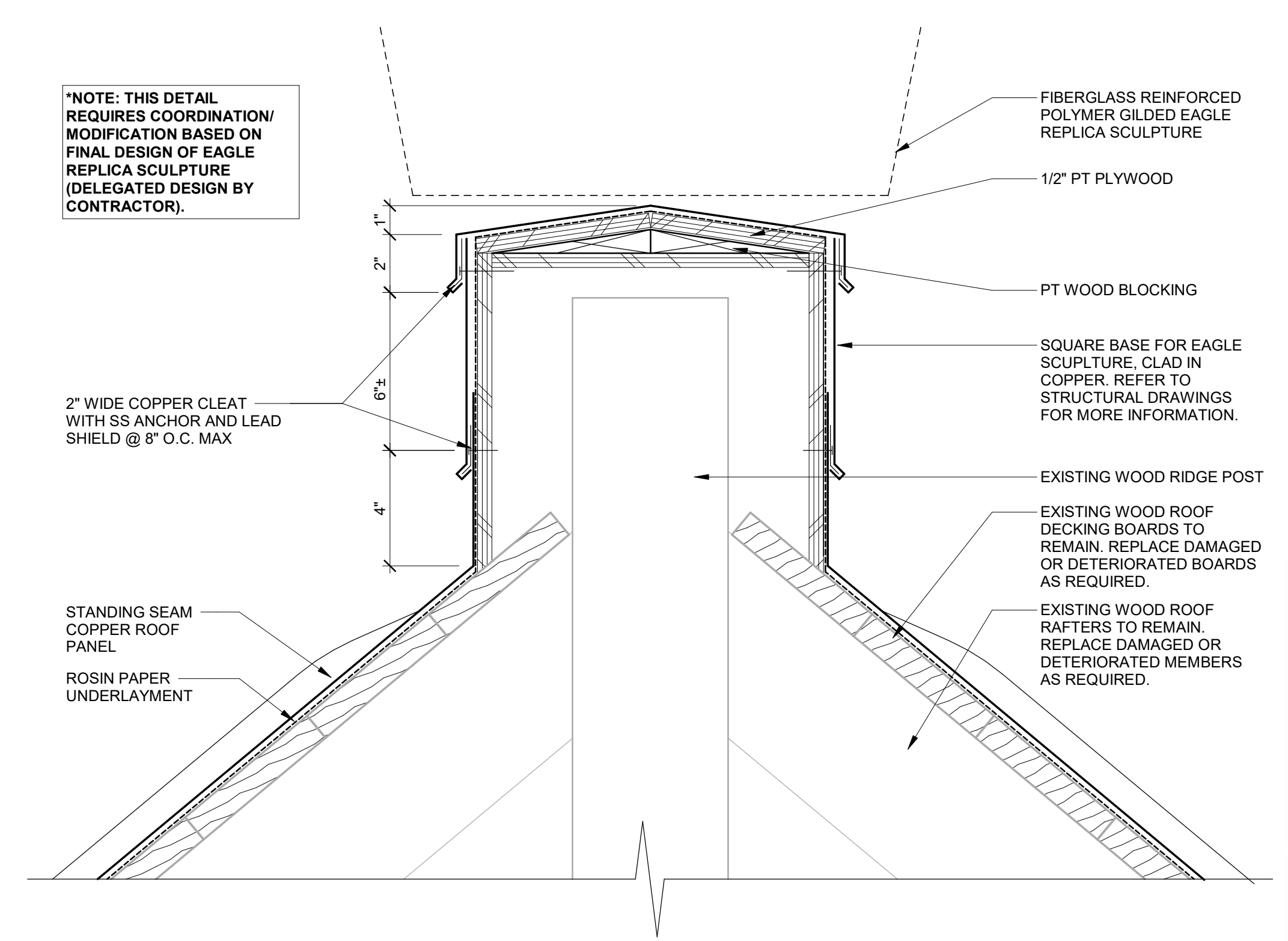


1 SECTION DETAIL AT COPING
A5.1 Scale: 3" = 1'-0"

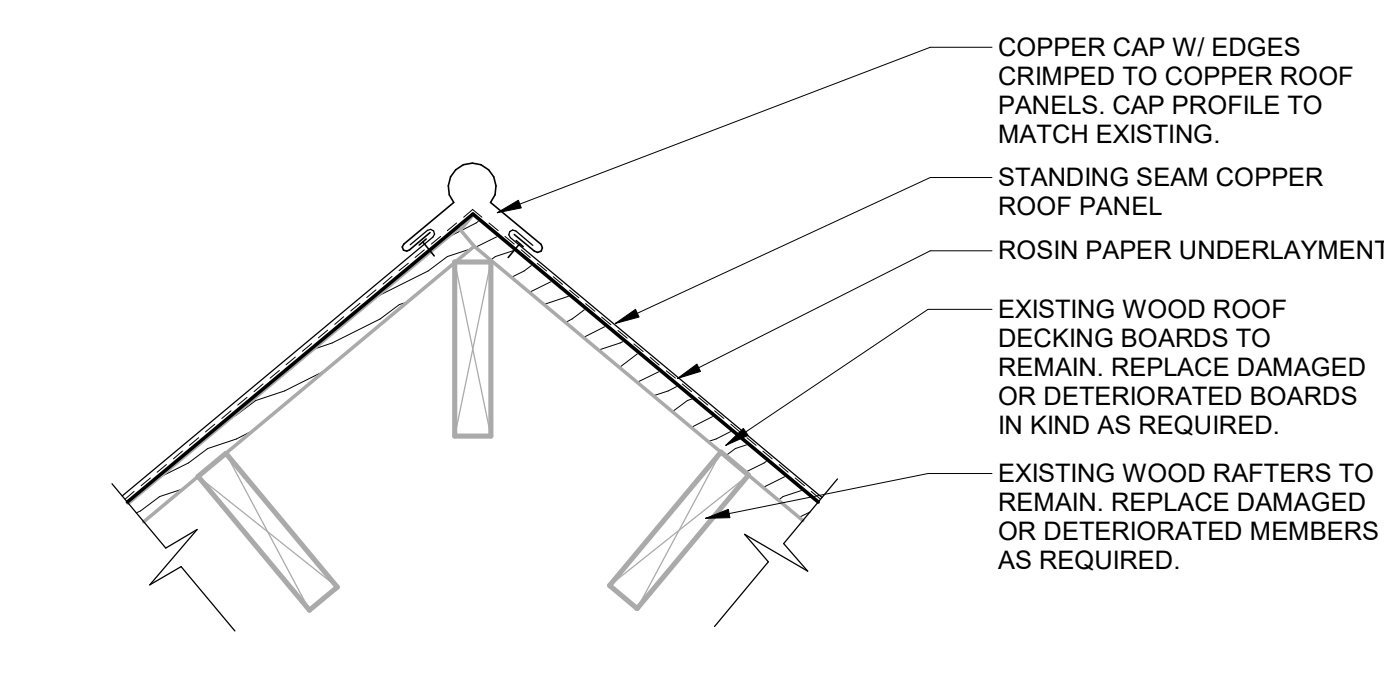


5 TYPICAL STANDING SEAM PROFILE
A5.1 Scale: 3" = 1'-0"

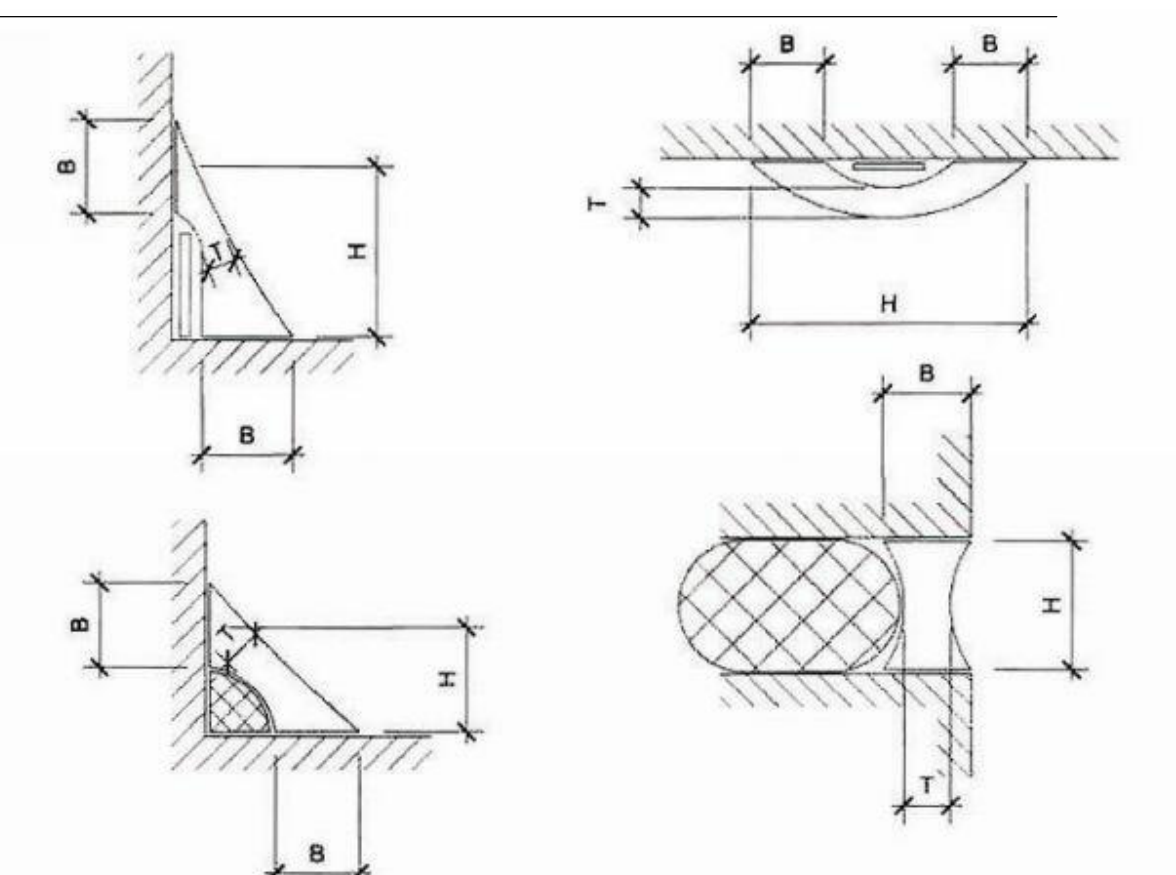
***NOTE: THIS DETAIL REQUIRES COORDINATION/MODIFICATION BASED ON FINAL DESIGN OF EAGLE REPLICA SCULPTURE (DELEGATED DESIGN BY CONTRACTOR).**



3 SECTION DETAIL AT RIDGE
A5.1 Scale: 3" = 1'-0"



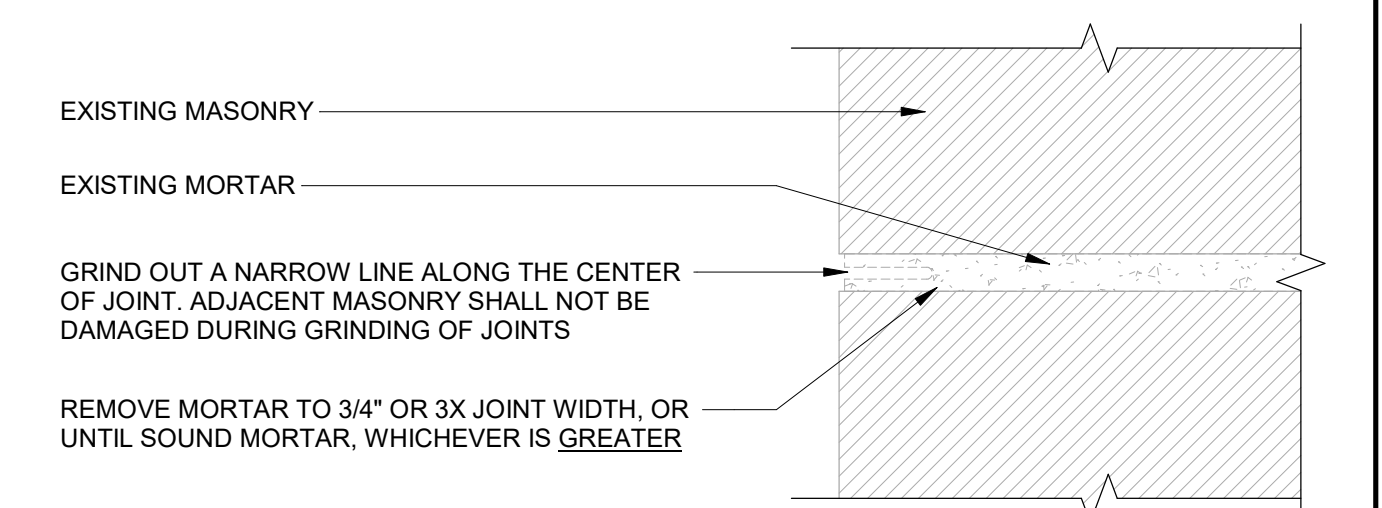
4 STANDING SEAM RIDGE DETAIL
A5.1 Scale: 1 1/2" = 1'-0"



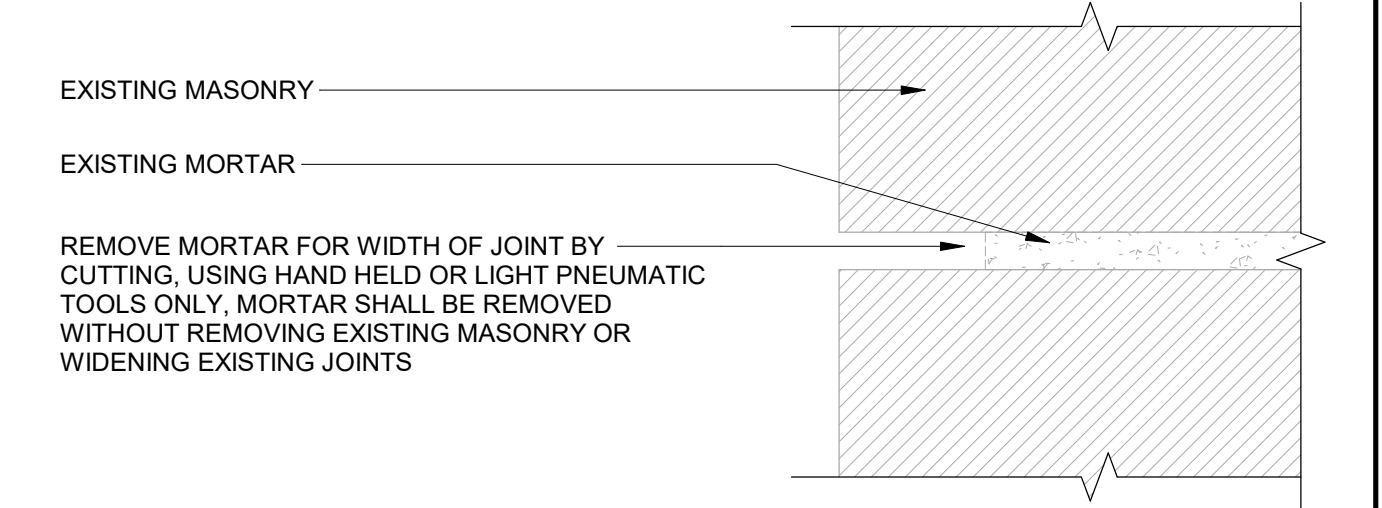
B = BOND LINE
T = SEALANT THICKNESS GENERAL SEALANT BEAD PROFILE
B = MIN. 3/8" ON CONCRETE STUCCO, OR MASONRY
B = MIN. 1/4" ON METAL OR GLASS
T = MIN. 1/4" TO 3/8" FOR SILICONE SEALANTS
PROVIDE AN "HOURLASS" PROFILE WHERE POSSIBLE (B>T)
PROVIDE MIN. 2:1 WIDTH TO THICKNESS RATIO (H:T)

SEALANT CHART	
H	B
1/4 IN.	1/4 IN.
1/4 TO 1/2 IN.	1/4 IN.
1/2 TO 1 IN.	1/2
> 1 IN.	1/2

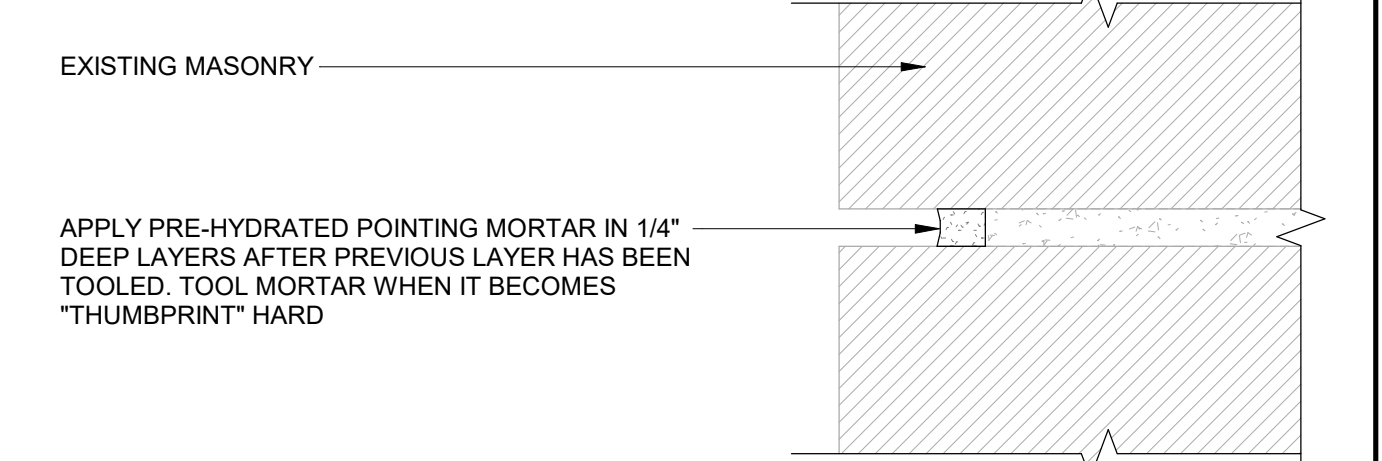
B TYPICAL SEALANT DETAILS
A5.1 Scale: 1 1/2" = 1'-0"



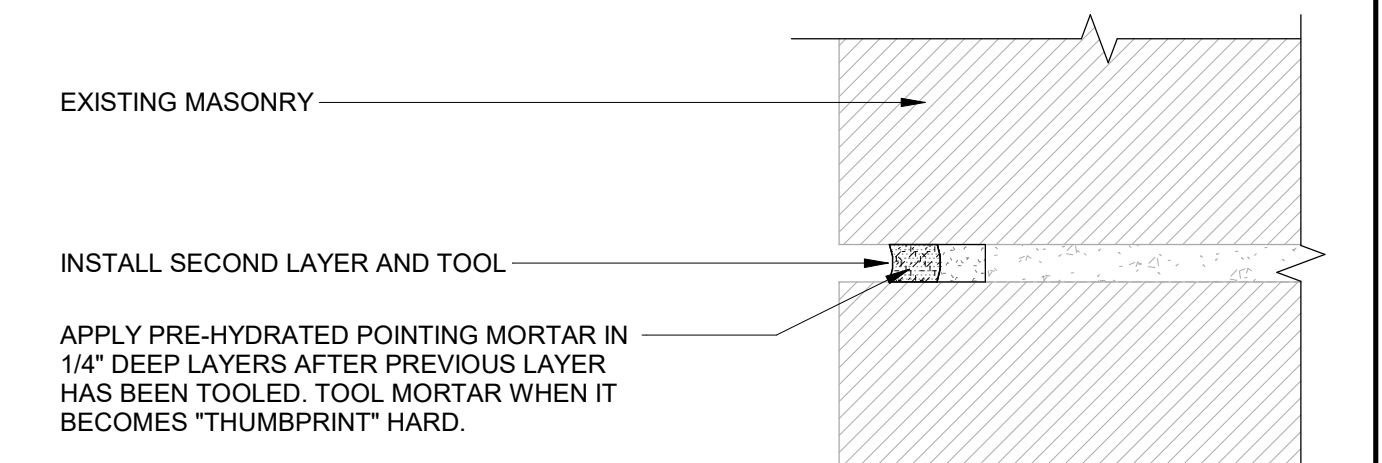
STEP 1



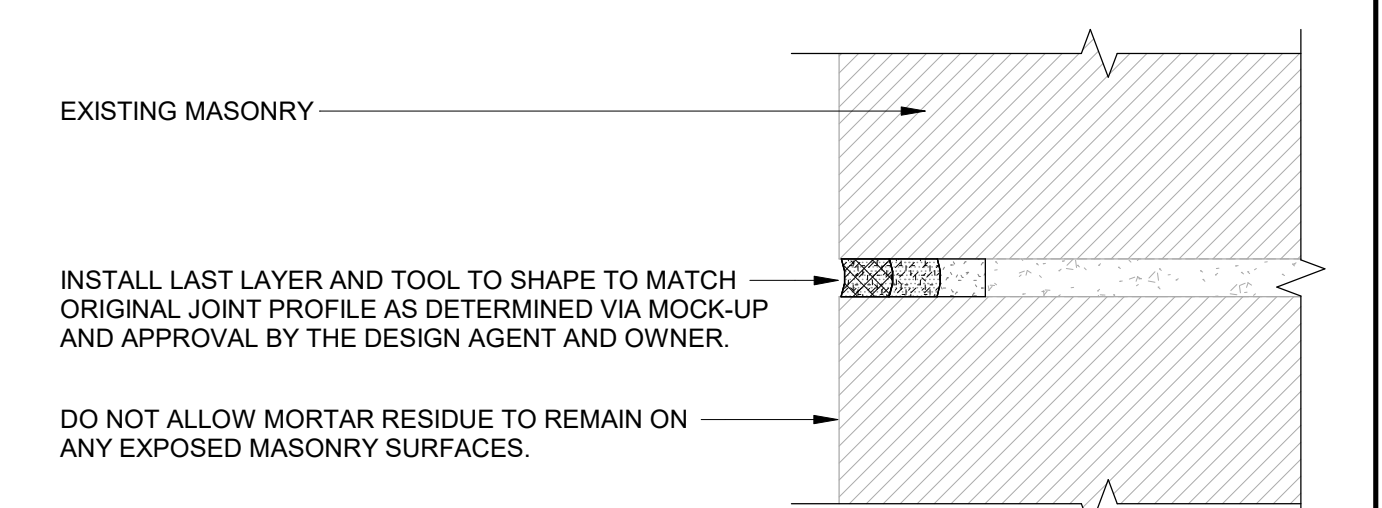
STEP 2



STEP 3



STEP 4



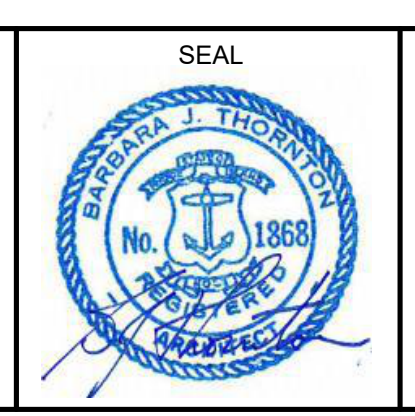
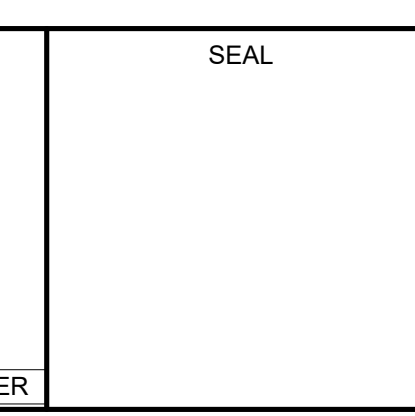
STEP 5

REPOINTING SCHEDULE
REMOVE EXISTING MORTAR TO A DEPTH OF 3/4", 2X JOINT WIDTH, OR TO SOUND ORIGINAL MORTAR (WHICHEVER IS GREATER).
FLUSH OUT LOOSE MATERIAL WITH AIR SPRAY.
INSTALL MORTAR IN 1/4" LIFTS UNTIL JOINT IS FILLED AND TOOL TO A SMOOTH FINISH, MATCHING EXISTING SHAPE. INSTALL A MINIMUM OF THREE LIFTS WITH EACH LIFT BEING NO MORE THAN 1/4" DEEP.
DISCARD ANY UNUSED MORTAR NOT USED WITHIN 2-1/2 HOURS AFTER INITIAL ADDITION OF WATER.
DO NOT DAMAGE FACE OF MASONRY. ALL MASONRY DAMAGED DURING MORTAR REMOVAL AND REPOINTING ACTIVITIES SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

A TYPICAL REPOINTING DETAIL
A5.1 Scale: 3" = 1'-0"

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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER



BREWSTER THORNTON GROUP ARCHITECTS LLP
317 Iron Horse Way, Suite 202 Providence, RI 02908
401.861.1600
brewsterthornton.com

SCALE: As indicated

HORZ.:	As indicated
VERT.:	
DATUM:	
HORZ.:	
VERT.:	

GRAPHIC SCALE

FUSS & O'NEILL
146 Hartford Road
Manchester, Connecticut 06040
860.646.2469
www.fondo.com

CITY OF CENTRAL FALLS
DETAILS
JENKS PARK REDEVELOPMENT - PHASE I
COGSWELL TOWER
CENTRAL FALLS RHODE ISLAND

PROJ. No.: 2138
DATE: 09/16/22
A5.1

GENERAL STRUCTURAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CONNECTICUT STATE BUILDING CODE AND ITS APPLICABLE REFERENCED STANDARDS.
- EXISTING STRUCTURAL SYSTEM IS SHOWN FOR INFORMATION ONLY. ALL EXISTING STRUCTURE MUST BE FIELD VERIFIED.
- THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH EXISTING CONDITIONS AND THE ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND ENGINEER ON RECORD.
- THE CONTRACTOR SHALL COORDINATE THE SIZE AND LOCATION OF ALL SLEEVES, OPENINGS AND ANCHORAGES (INCLUDING ANCHOR BOLTS) AS REQUIRED BY ALL TRADES. OPENINGS NOT SPECIFICALLY SHOWN SHALL BE APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE FOR A SAFE AND EFFICIENT METHOD OF SHORING AND/OR BRACING THE STRUCTURE DURING CONSTRUCTION.
- STRUCTURAL MEMBERS SHALL NOT BE MODIFIED IN THE FIELD WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER. IN THE EVENT OF A CONSTRUCTION OR FABRICATION ERROR, THE CONTRACTOR SHALL PREPARE A SKETCH WITH A PROPOSED REPAIR, AND SUBMIT IT TO THE ARCHITECT AND ENGINEER ON RECORD, FOR APPROVAL PRIOR TO PERFORMING ANY CORRECTIVE WORK.
- SUBMIT SHOP DRAWINGS FOR APPROVAL - FOR ALL TRADES INDICATED HEREIN - PRIOR TO PROCEEDING WITH FABRICATION AND/OR CONSTRUCTION. CONTRACTOR SHALL ALLOW FOR A 2 WEEK REVIEW PERIOD BY THE DESIGN TEAM.
- IN ANY CASE OF CONFLICT BETWEEN THE NOTES, DETAILS AND SPECIFICATIONS, THE MOST RIGID REQUIREMENTS SHALL GOVERN. CONTRACTOR SHALL MAKE NO DEVIATION FROM CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL OF THE ENGINEER.
- JOB SAFETY AND CONSTRUCTION PROCEDURES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL COSTS OF INVESTIGATION AND/OR REDESIGN, DUE TO CONTRACTOR MISLOCATION OF STRUCTURAL ELEMENTS OR OTHER LACK OF CONFORMANCE WITH THE PROJECT DOCUMENTS, SHALL BE AT THE CONTRACTOR'S EXPENSE.
- THESE DRAWINGS REPRESENT THE COMPLETED PROJECT WHICH HAS BEEN DESIGNED FOR THE WEIGHTS OF THE MATERIALS INDICATED ON THE DRAWINGS AND FOR THE SUPERIMPOSED LOADS INDICATED IN THE DESIGN DATA. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FALSEWORK, FORMWORK, STAGINGS, BRACING, SHEETING AND SHORING, ETC.
- TYPICAL DETAILS APPLY REPETITIVELY ON THE PROJECT. CONTRACTOR SHALL COORDINATE THE GENERAL REQUIREMENTS OF TYPICAL DETAILS WITH PROJECT CONDITIONS, PLANS, SPECIFICATIONS, AND SECTIONS.

CONTRACTOR'S DESIGN RESPONSIBILITY

- THE LISTED BELOW PROJECT ITEMS ASSOCIATED WITH FABRICATION, ERECTION AND CONTRACTORS MEANS AND METHODS AND REQUIRING STRUCTURAL DESIGN ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF STRUCTURAL PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF CONNECTICUT TO PERFORM THE DESIGN OF THE ITEMS, MARKED AS (*).
- CALCULATIONS FOR ITEMS MARKED AS (*) SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO THE ENGINEER OF RECORD, OTHERWISE THE ITEMS SHALL BE SUBMITTED FOR THE OWNERS RECORD.

- A: TEMPORARY SHORING
- B: STRUCTURAL LUMBER
- C: PLATFORM ACCESS LADDERS
- D: EAGLE REPLICA SCULPTURE

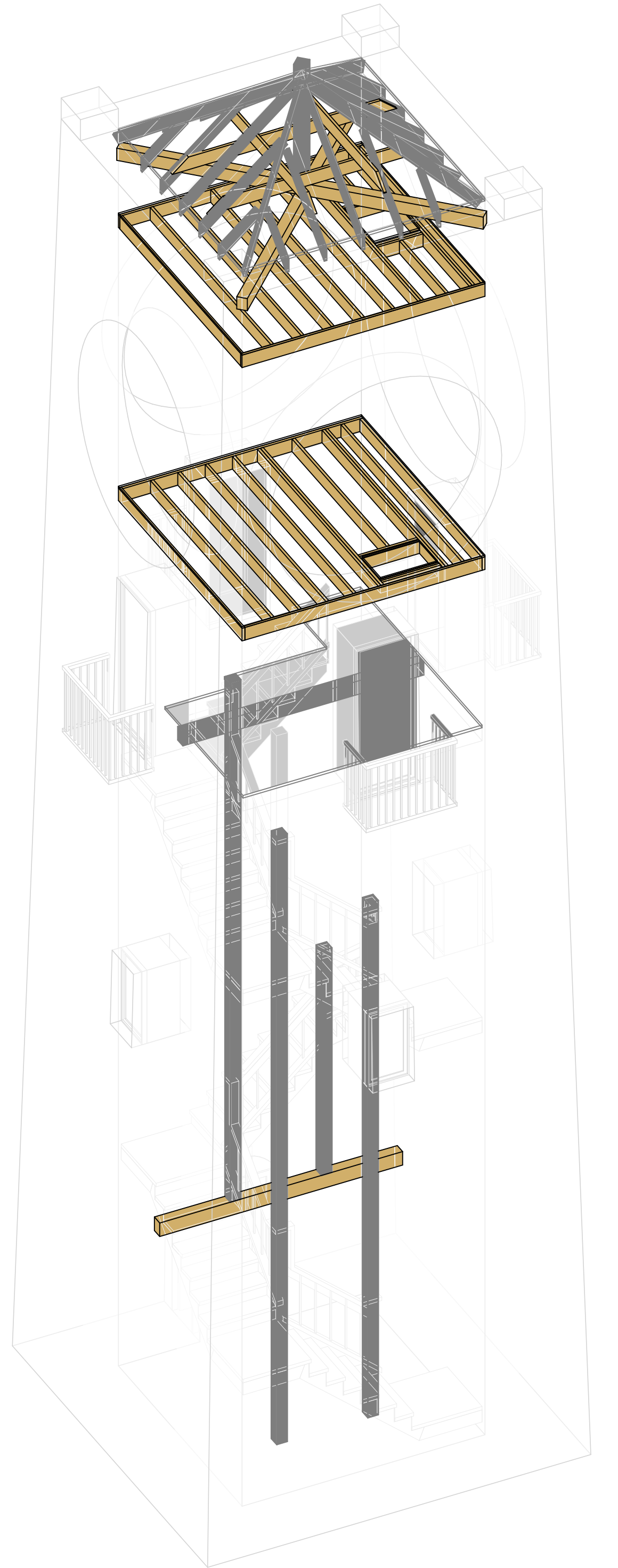
STRUCTURAL LUMBER / ROUGH CARPENTRY

- ALL WORK SHALL BE IN CONFORMANCE WITH THE AMERICAN FOREST AND PAPER ASSOCIATION STANDARDS AND SPECIFICATIONS.
- UNLESS NOTED OTHERWISE ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR-LARCH NORTH NO. 2 OR BETTER - 19% MOISTURE CONTENT OR LESS.
- ALL LUMBER EXPOSED TO WEATHER OR IDENTIFIED AS "PT" ON THE DRAWINGS SHALL BE SOUTHERN YELLOW PINE NO. 2 OR BETTER WITH ACQ PRESSURE TREATMENT PRESERVATIVE AND A MOISTURE CONTENT OF 19% OR LOWER.
- PROVIDE GALVANIZED METAL HANGERS AT ALL FLUSH FRAMED CONNECTIONS.
- ALL FASTENERS SHALL BE IN CONFORMANCE WITH THE FASTENING SCHEDULE IN THE 2015 INTERNATIONAL BUILDING CODE, UNLESS NOTED OTHERWISE. FASTENERS SHALL BE HOT-DIP GALVANIZED OR IDENTIFIED AS EXTERIOR GRADE.
- ALL FLOOR DECK SHALL BE 5/4" PRESSURE TREATED EXTERIOR GRADE DECKING.
- ALL FLOOR AND ROOF PLYWOOD DECKING SHALL BE INSTALLED WITH ANGULAR RING NAILS - STAPLES SHALL NOT BE PERMITTED - WITH INSTALLATION PROCEDURES CONFORMING TO THE GOVERNING AGENCY STAMPED ON THE SHEETS.
- WHERE INDICATED, ALL LUMBER NOTED AS "PSL" SHALL BE PARALLAM PARALLEL STRAND LUMBER, AS MANUFACTURED BY BOISE CASCADE OR WEYERHAUSER. ALL PSL MEMBERS SHALL HAVE SERVICE LEVEL 2 (SL-2) PRESERVATIVE TREATMENT.
- SHOP DRAWINGS/SUBMITTALS ARE REQUIRED FOR THE FOLLOWING: JOISTS, HANGERS, BEAMS AND STEEL. PHOTOCOPYING OF CONTRACT DOCUMENTATION FOR SUBMITTAL PURPOSES SHALL NOT BE PERMITTED AND WILL BE REJECTED WITHOUT REVIEW.
- ALL OPENINGS SHALL BE FRAMED BY DOUBLE MEMBERS UNLESS NOTED OTHERWISE.
- MINIMUM LUMBER ALLOWABLE DESIGN STRESSES SHALL BE AS FOLLOWS:

MEMBER	MODULUS OF ELASTICITY, E	FLEX STRESS F _b	COMP PERP TO GRAIN F _{c⊥}	COMP PARALLEL TO GRAIN F _{c∥}	HORIZ SHEAR F _v
2.0E PSL	2.0 x 10 ⁶ psi	2900 psi	625 psi	2900 psi	290 psi
1.8E PSL	1.8 x 10 ⁶ psi	2400 psi	545 psi	2500 psi	190 psi

DESIGN DATA

- SUPERIMPOSED DEAD LOAD:**
 - PLATFORM FOR MAINTENANCE ACCESS..... 5 PSF
- FLOOR LIVE LOAD:**
 - PLATFORM FOR MAINTENANCE ACCESS..... 40 PSF
- ROOF LIVE LOAD:**
 - ORDINARY FLAT ROOFS - UNIFORM N/A
- ROOF SNOW LOAD DATA:**
 - GROUND SNOW LOAD, P_s 30 PSF
 - FLAT ROOF SNOW LOAD, P_f 30 PSF + DRIFT
 - RAIN-ON-SNOW SURCHARGE LOAD N/A P_s > 20 PSF
 - SNOW EXPOSURE FACTOR, C_e 0.9
 - SNOW LOAD IMPORTANCE FACTOR, I_s 1.0
 - THERMAL FACTOR, C_t 1.1
 - SLOPE FACTOR, C_s 0.9
 - DRIFT LOAD, P_d N/A
 - SNOW DRIFT, W N/A
- ROOF RAIN LOAD DATA:**
 - RAIN INTENSITY, I N/A
- WIND DESIGN DATA: PROPOSED REPAIRS DO NOT AFFECT EXISTING LATERAL FORCE RESISTING SYSTEM.**
 - BASIC WINDSPEED, V_b 124 MPH (3-SEC GUST)
 - NOMINAL WINDSPEED, V_{ind} 96 MPH (3-SEC GUST)
 - RISK CATEGORY II
 - WIND LOAD IMPORTANCE FACTOR, I_w 1.0
 - WIND EXPOSURE CATEGORY C
 - INTERNAL PRESSURE COEFFICIENT, GC_p +/- 0.18
 - BASE PRESSURE, q_n 39 PSF
 - NET UPLIFT ON ROOF - SERVICE 15 PSF
- EARTHQUAKE DESIGN DATA: PROPOSED REPAIRS DO NOT AFFECT EXISTING LATERAL FORCE RESISTING SYSTEM.**
 - RISK CATEGORY II
 - SEISMIC IMPORTANCE FACTOR, I_s 1.00
 - S_s 0.178
 - S₁ 0.062
 - SITE CLASS D
 - S_{ms} 0.190
 - S_{mi} 0.099
 - SEISMIC DESIGN CATEGORY B
 - ANALYSIS PROCEDURE N/A
- GEOTECHNICAL INFORMATION: PROPOSED REPAIRS DO NOT AFFECT EXISTING FOUNDATION SYSTEMS**
 - DESIGN BEARING CAPACITY 2000 PSF (PRESUMED)
- FLOOD DESIGN DATA:**
 - FLOOD ZONE N/A



5 TOWER - 3D VIEW
S0.1

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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
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		SEAL		

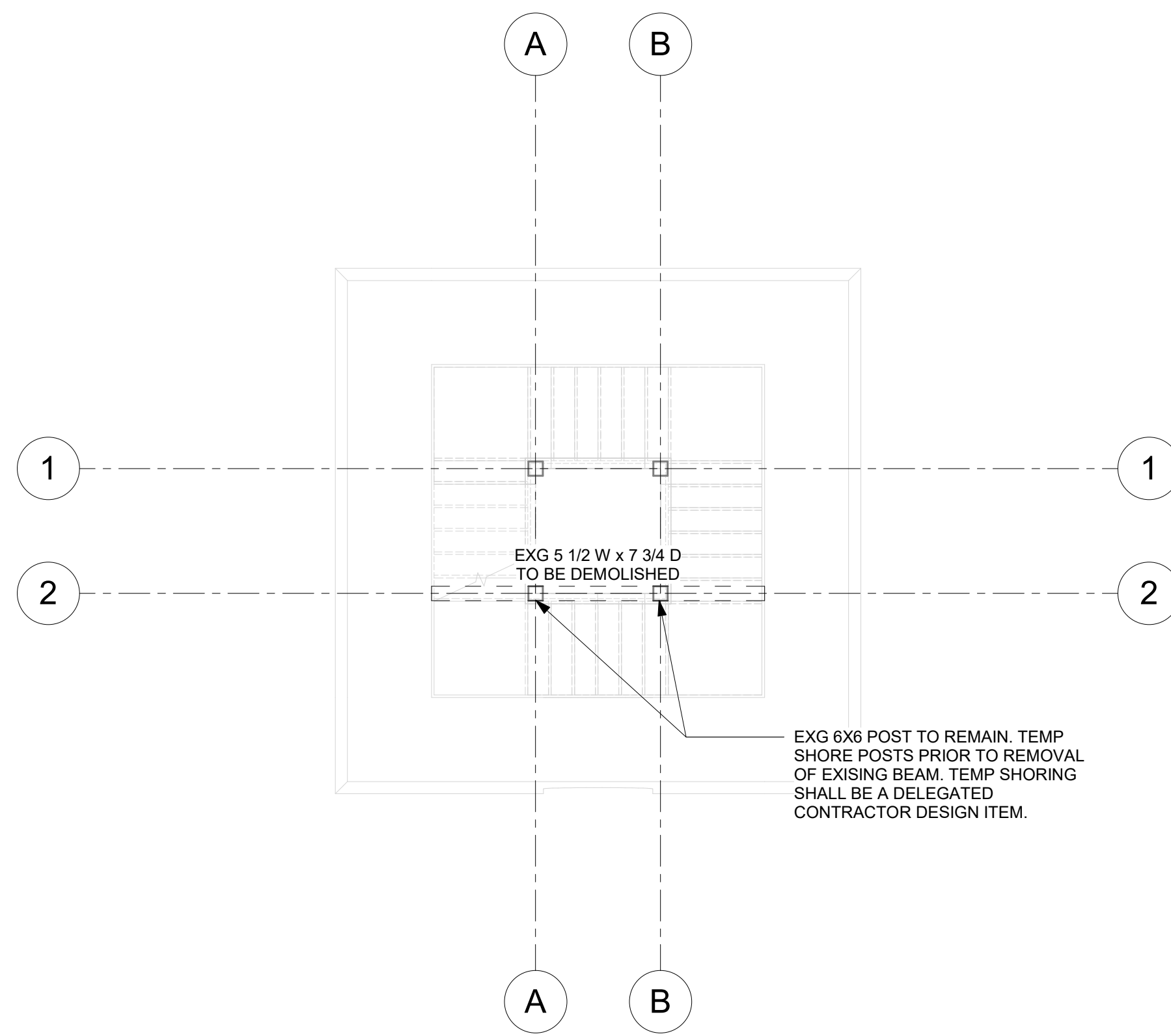
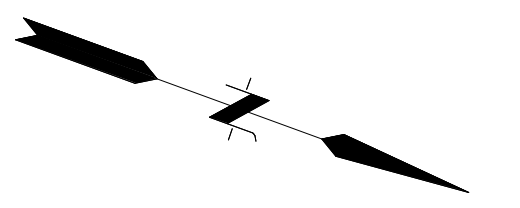
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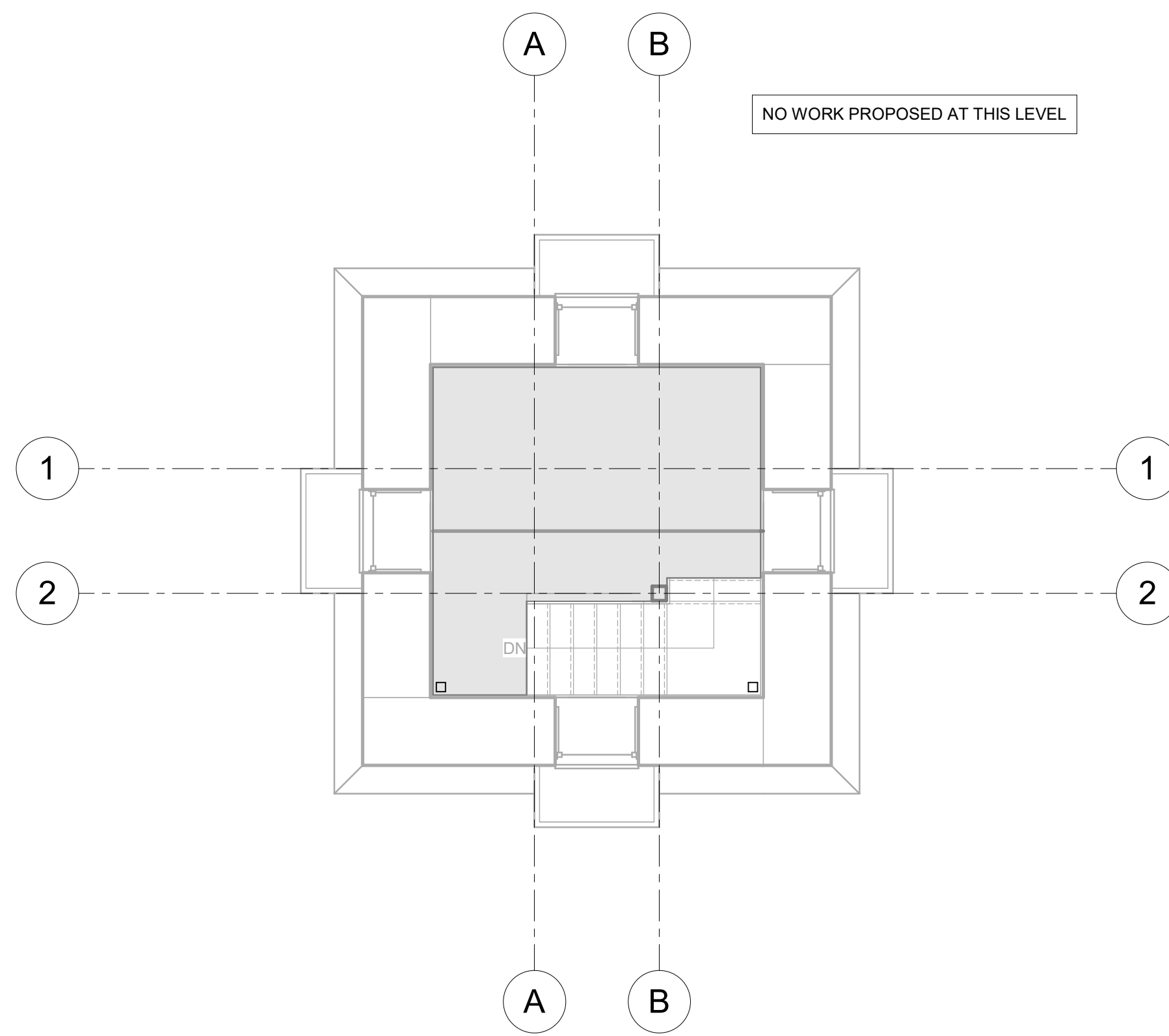
CITY OF CENTRAL FALLS
STRUCTURAL NOTES
JENKS PARK REDEVELOPMENT - PHASE 1
COGSWELL TOWER

CENTRAL FALLS RHODE ISLAND

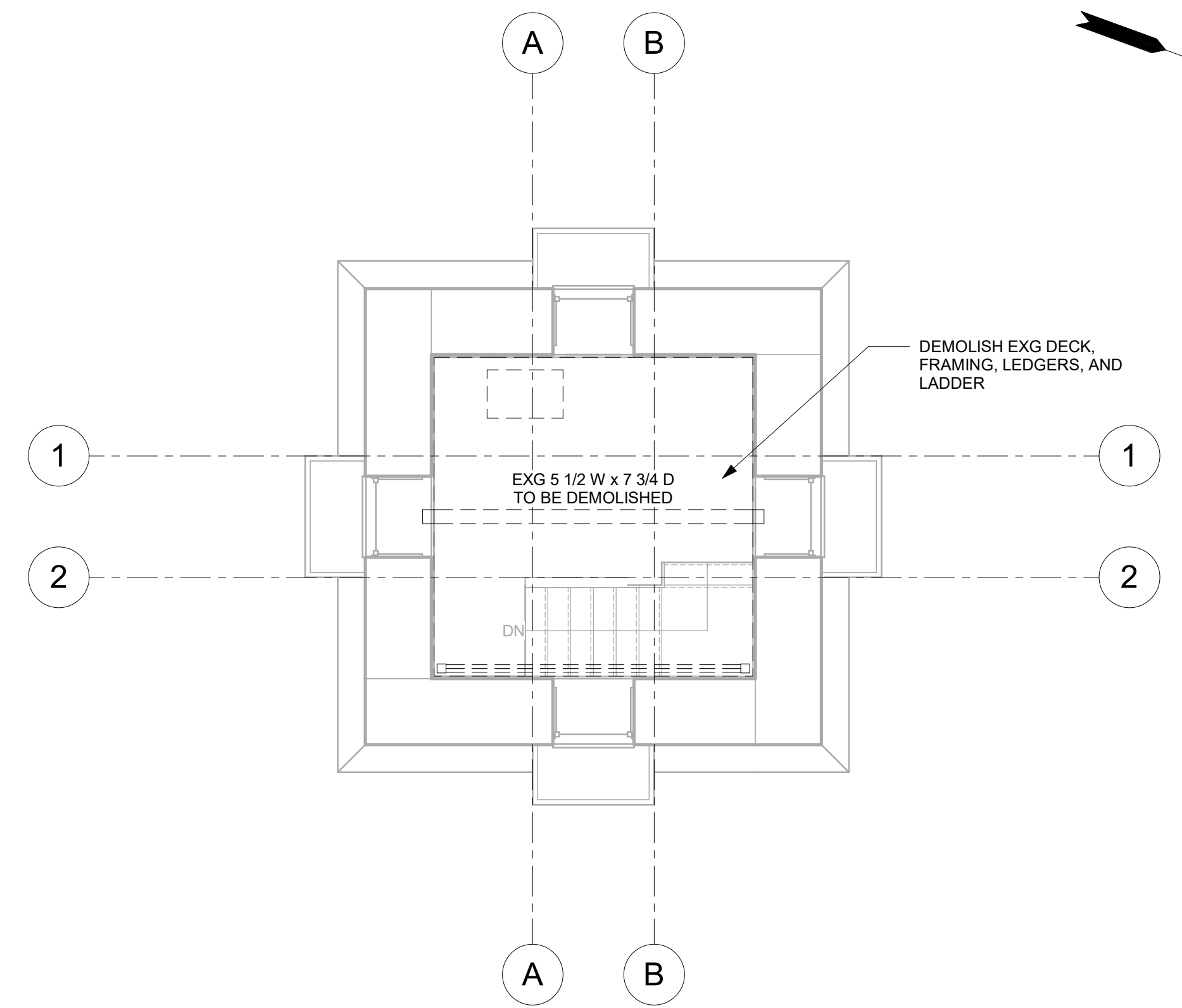
PROJ. No.:	20170811.A51
DATE:	09/09/2022
S0.1	



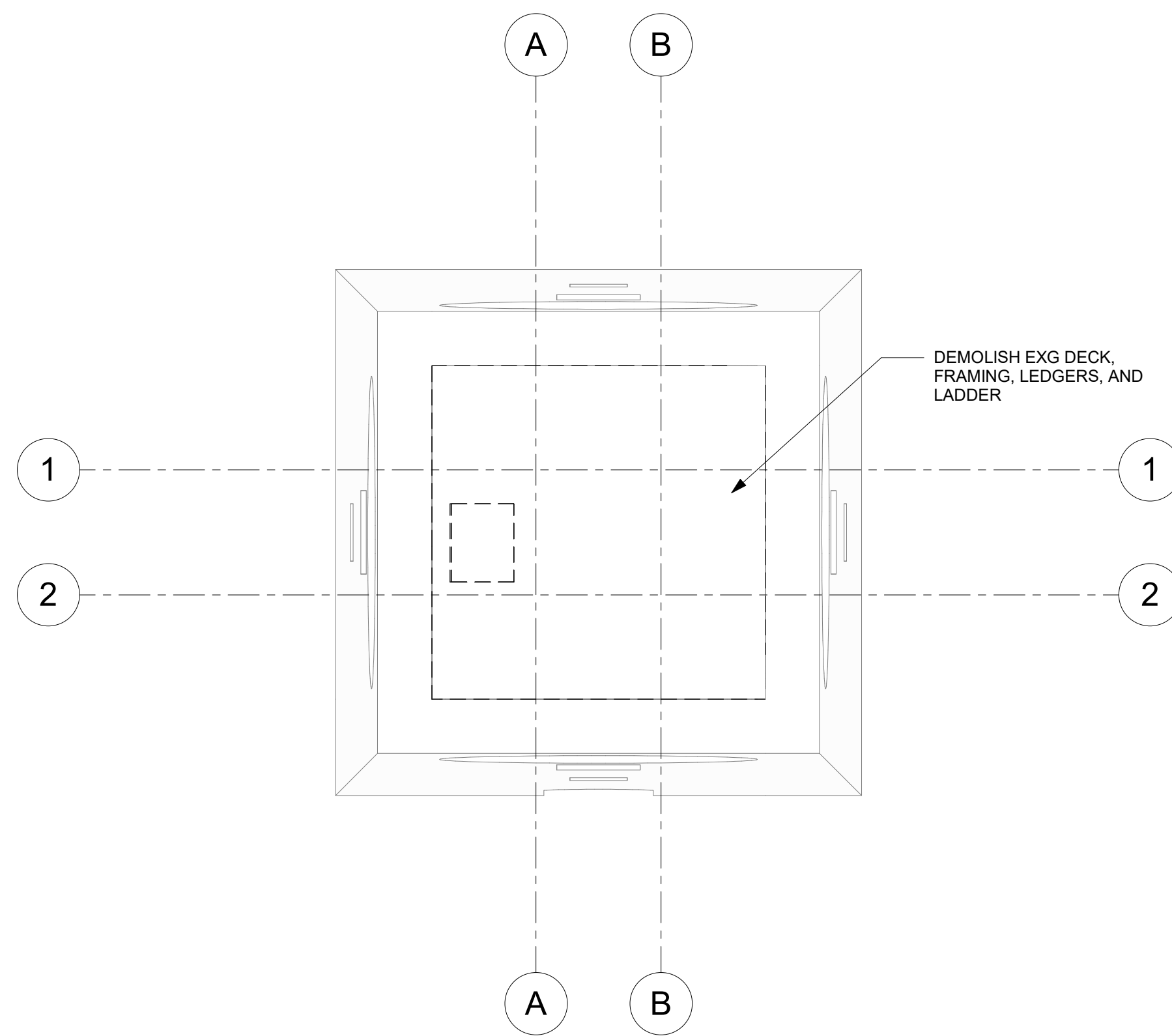
1 LOWER STAIR POST SUPPORT DEMO PLAN
SD1.0 1/4" = 1'-0"



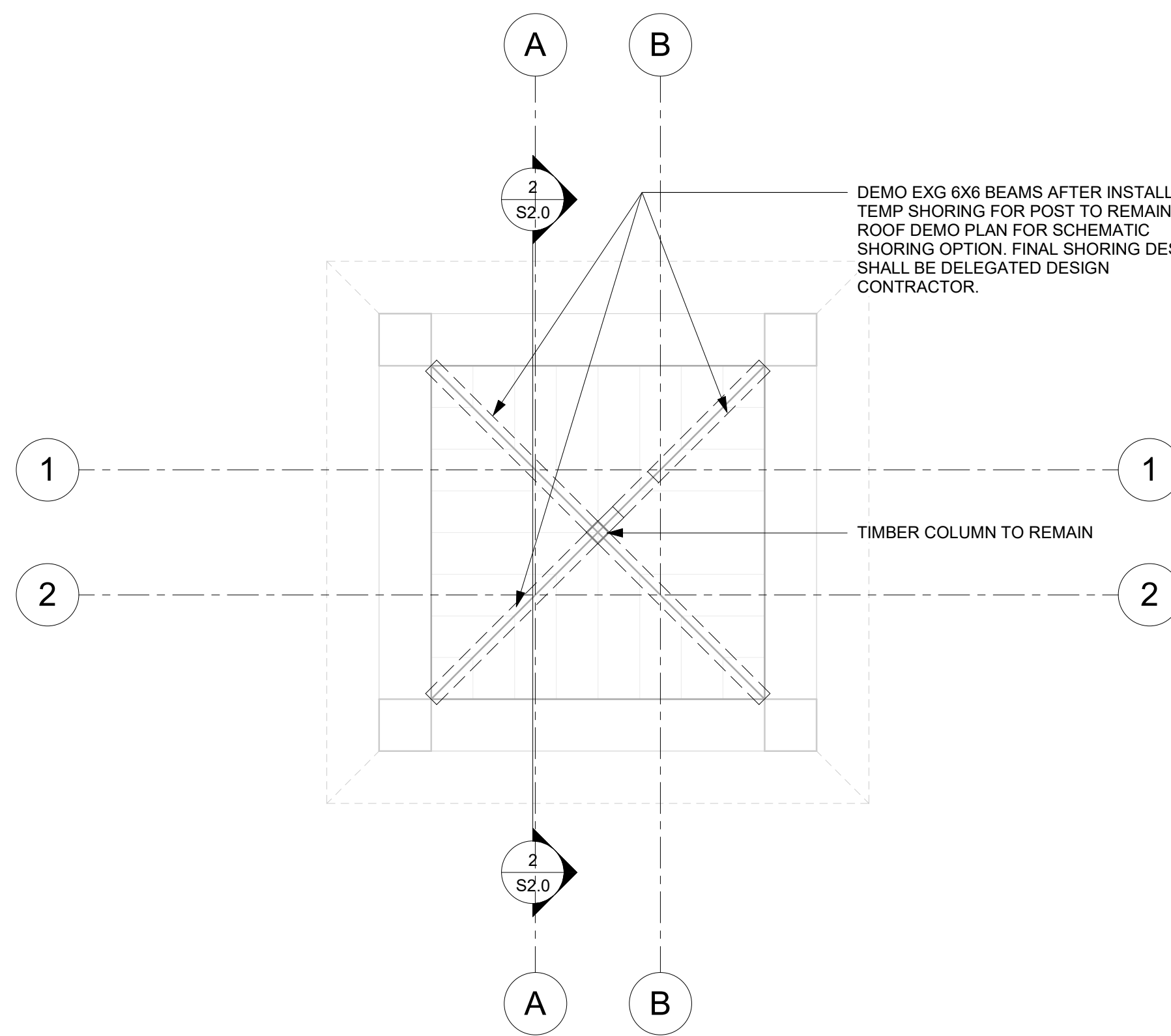
2 BALCONY PLATFORM DEMO PLAN
SD1.0 1/4" = 1'-0"



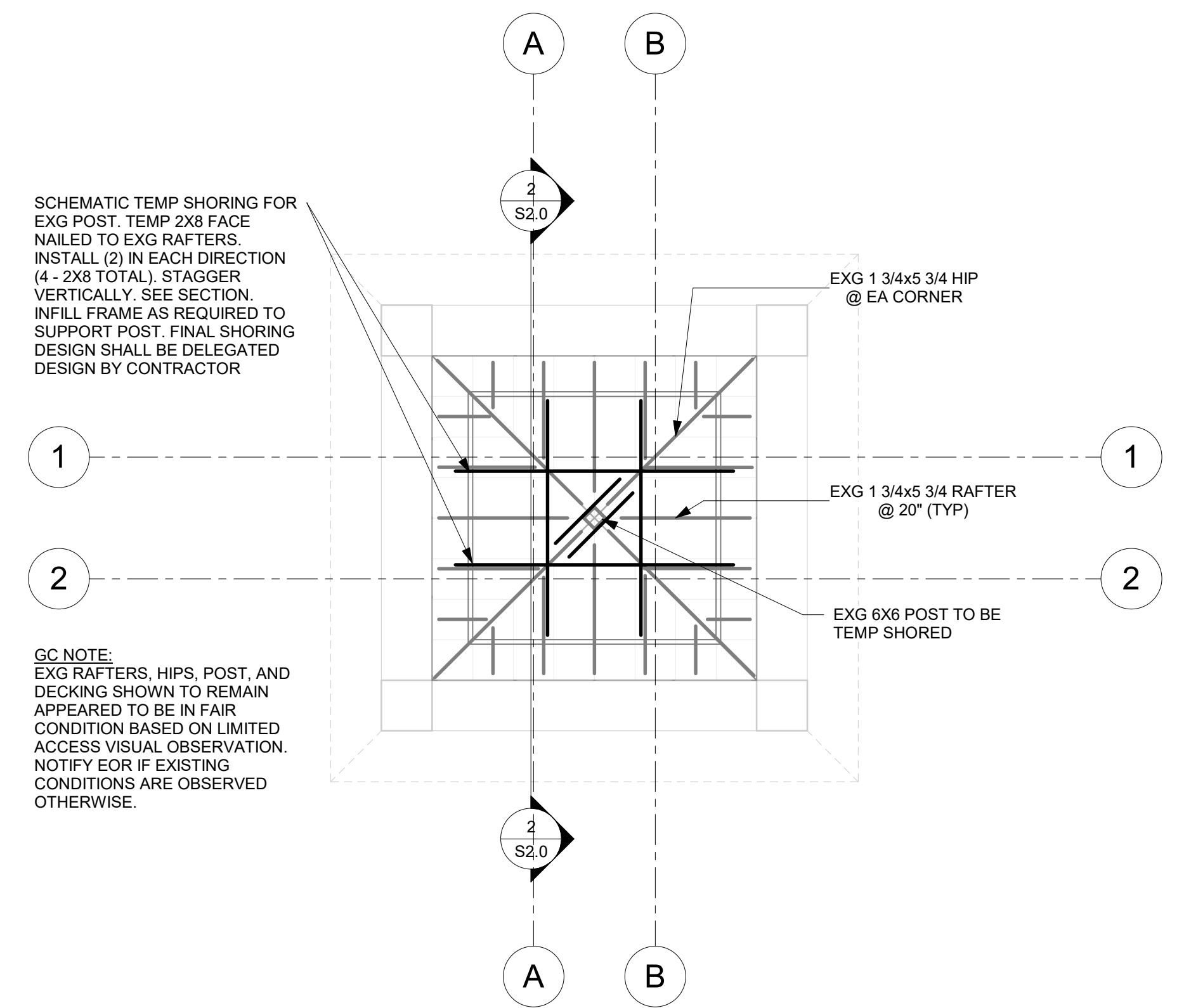
3 CLOCK PLATFORM DEMO PLAN
SD1.0 1/4" = 1'-0"



4 ATTIC PLATFORM DEMO PLAN
SD1.0 1/4" = 1'-0"



5 RIDGE POST SUPPORT DEMO PLAN
SD1.0 1/4" = 1'-0"



6 SCHEMATIC ROOF SUPPORT SHORING PLAN
SD1.0 1/4" = 1'-0"

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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER	SEAL	SEAL

SCALE:	1/4" = 1'-0"
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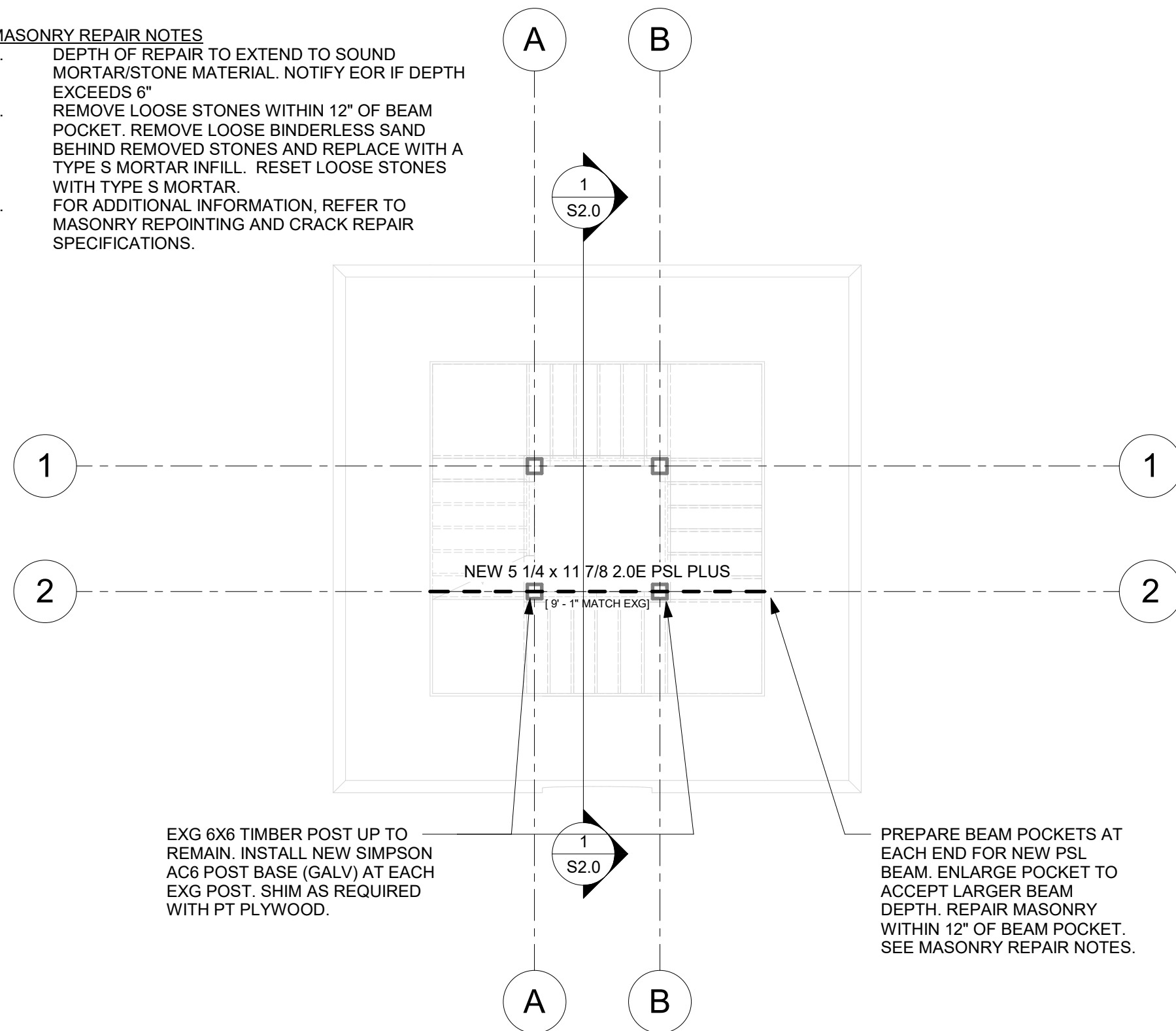
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CITY OF CENTRAL FALLS
STRUCTURAL DEMOLITION PLANS
JENKS PARK REDEVELOPMENT - PHASE I
COGSWELL TOWER
CENTRAL FALLS RHODE ISLAND

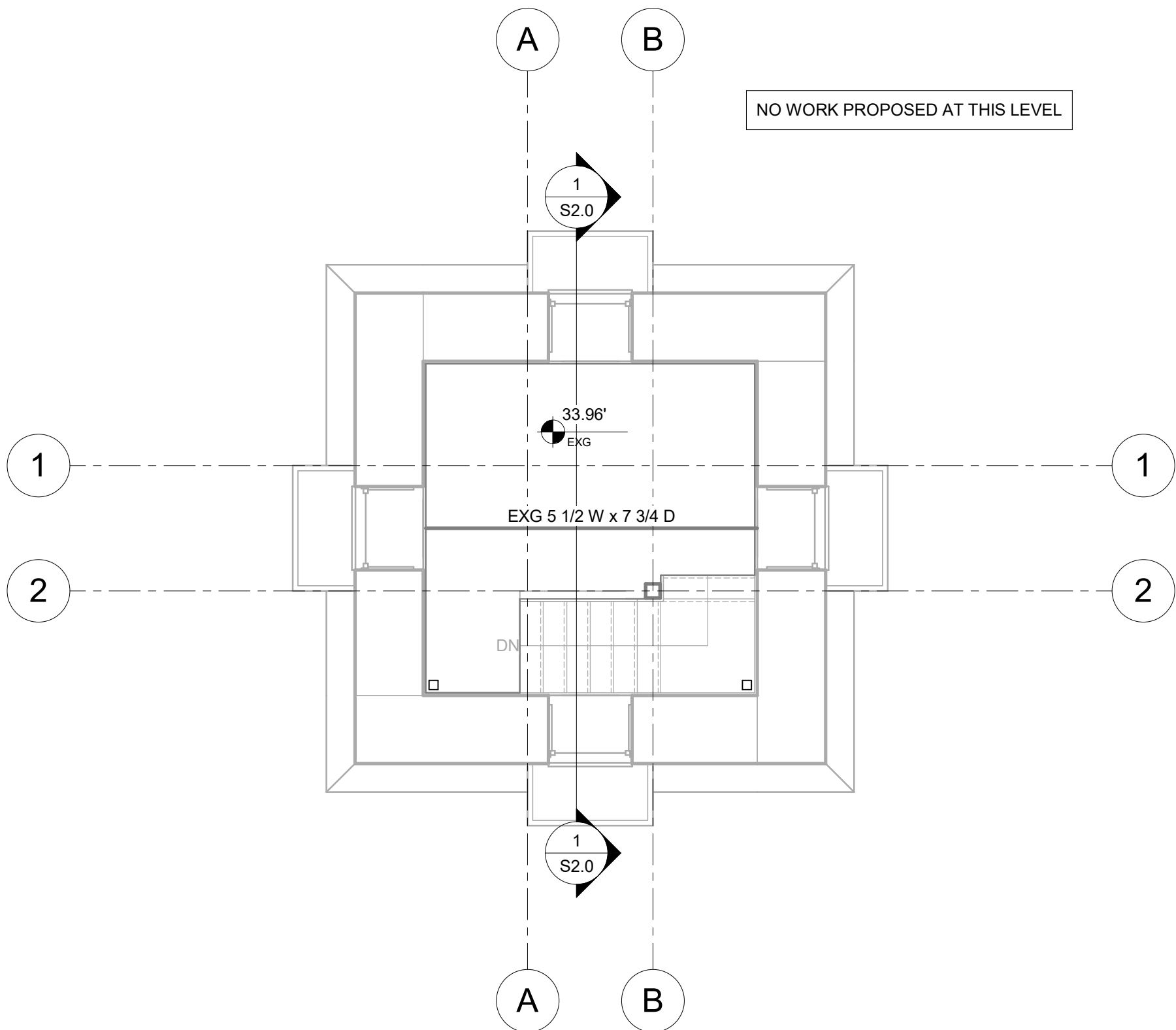
PROJ. No.:	20170811.A51
DATE:	09/09/2022
SD1.0	

MASONRY REPAIR NOTES

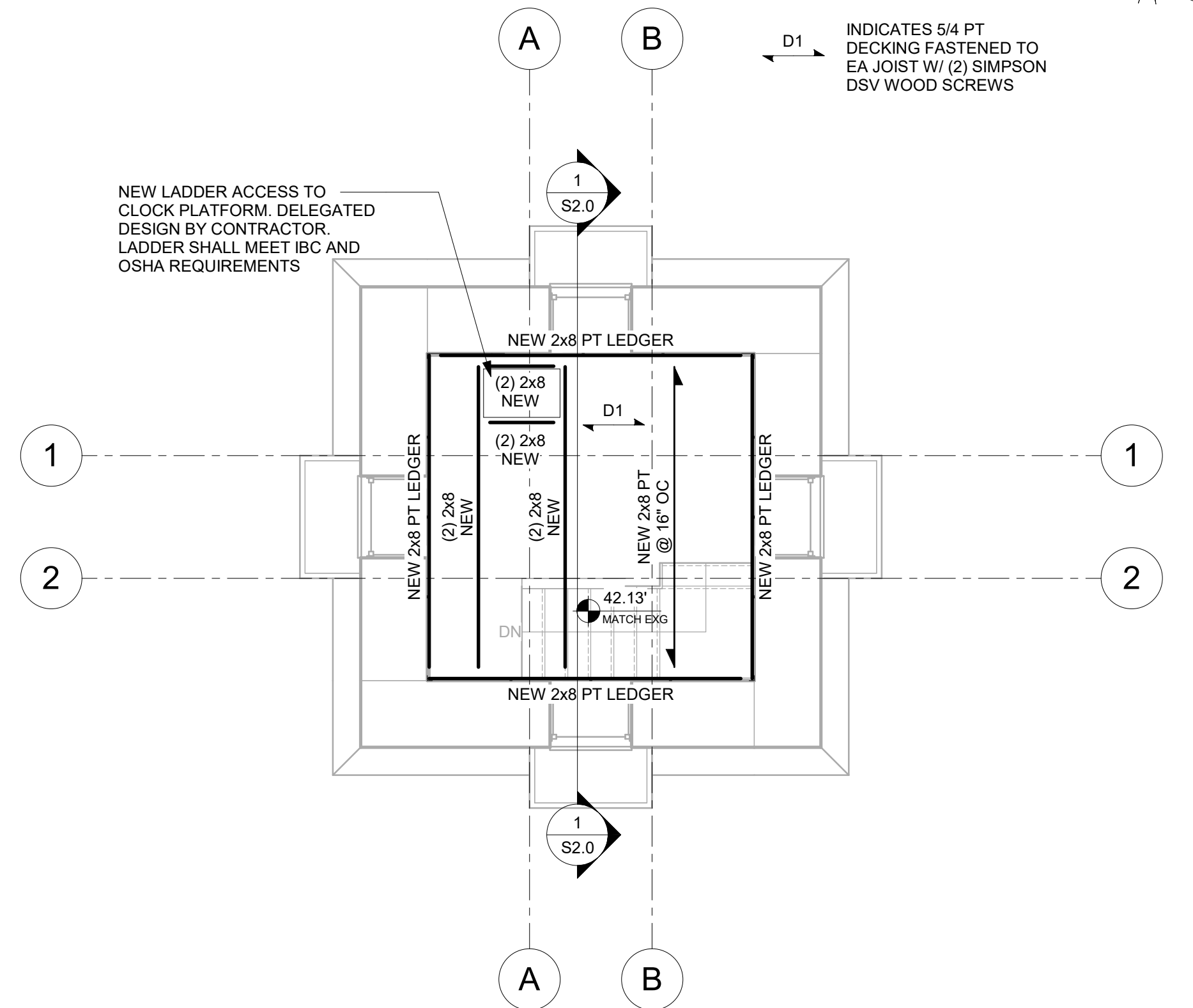
1. DEPTH OF REPAIR TO EXTEND TO SOUND MORTAR/STONE MATERIAL. NOTIFY EOR IF DEPTH EXCEEDS 6"
2. REMOVE LOOSE STONES WITHIN 12" OF BEAM POCKET. REMOVE LOOSE BINDERLESS SAND BEHIND REMOVED STONES AND REPLACE WITH A TYPE S MORTAR INFILL. RESET LOOSE STONES WITH TYPE S MORTAR.
3. FOR ADDITIONAL INFORMATION, REFER TO MASONRY REPOINTING AND CRACK REPAIR SPECIFICATIONS.



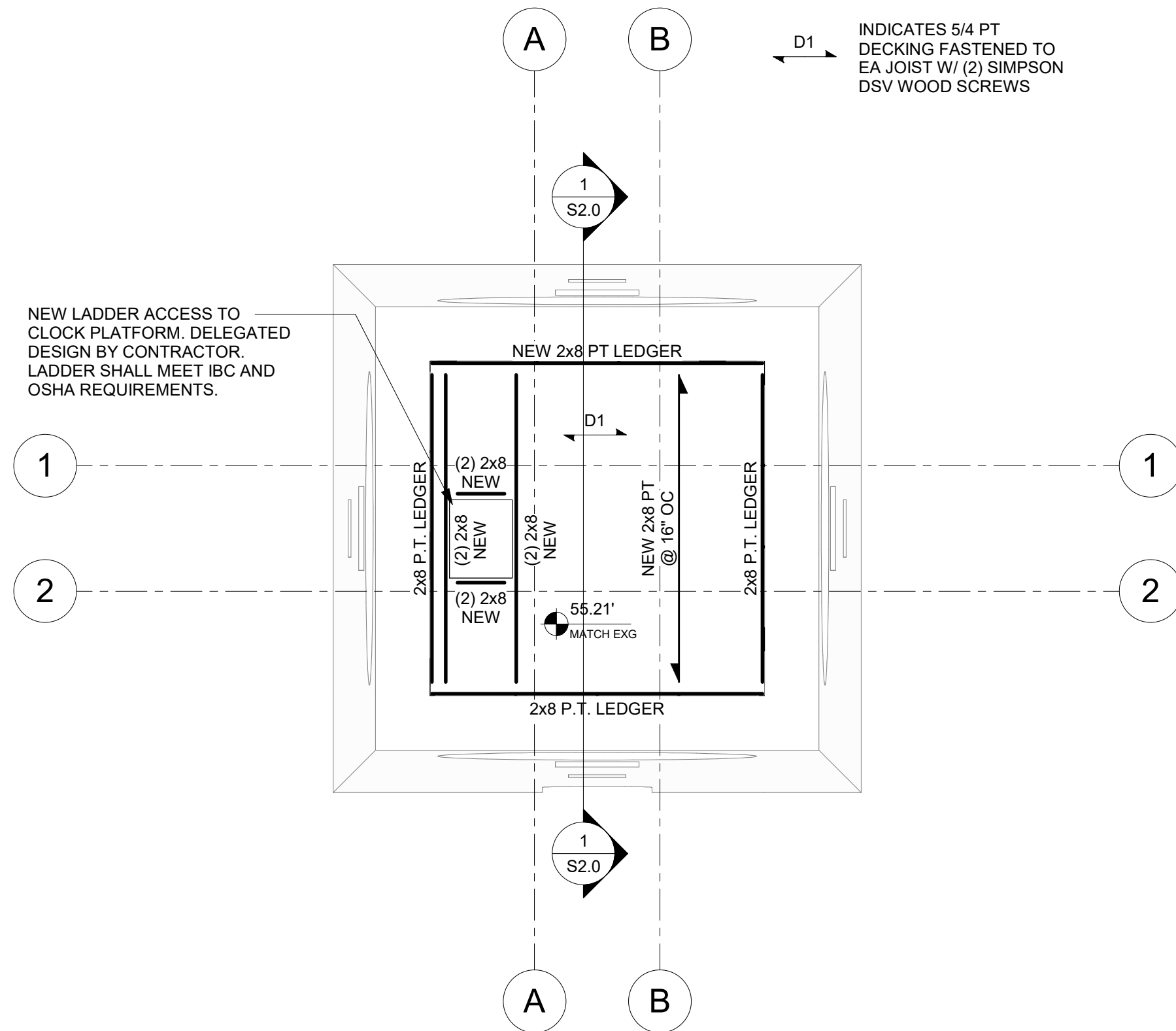
1
S1.0 1/4" = 1'-0"



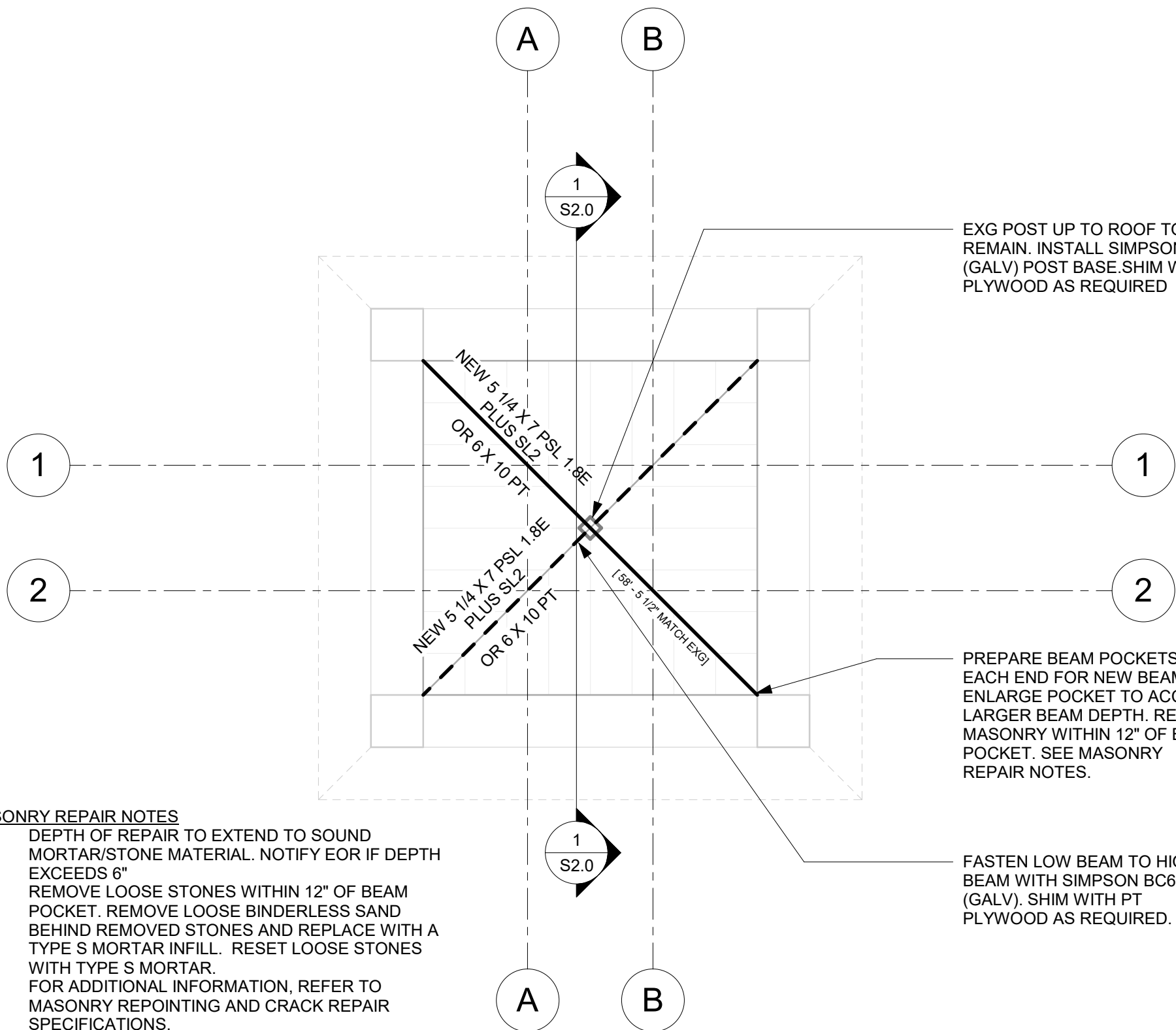
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S1.0 1/4" = 1'-0"



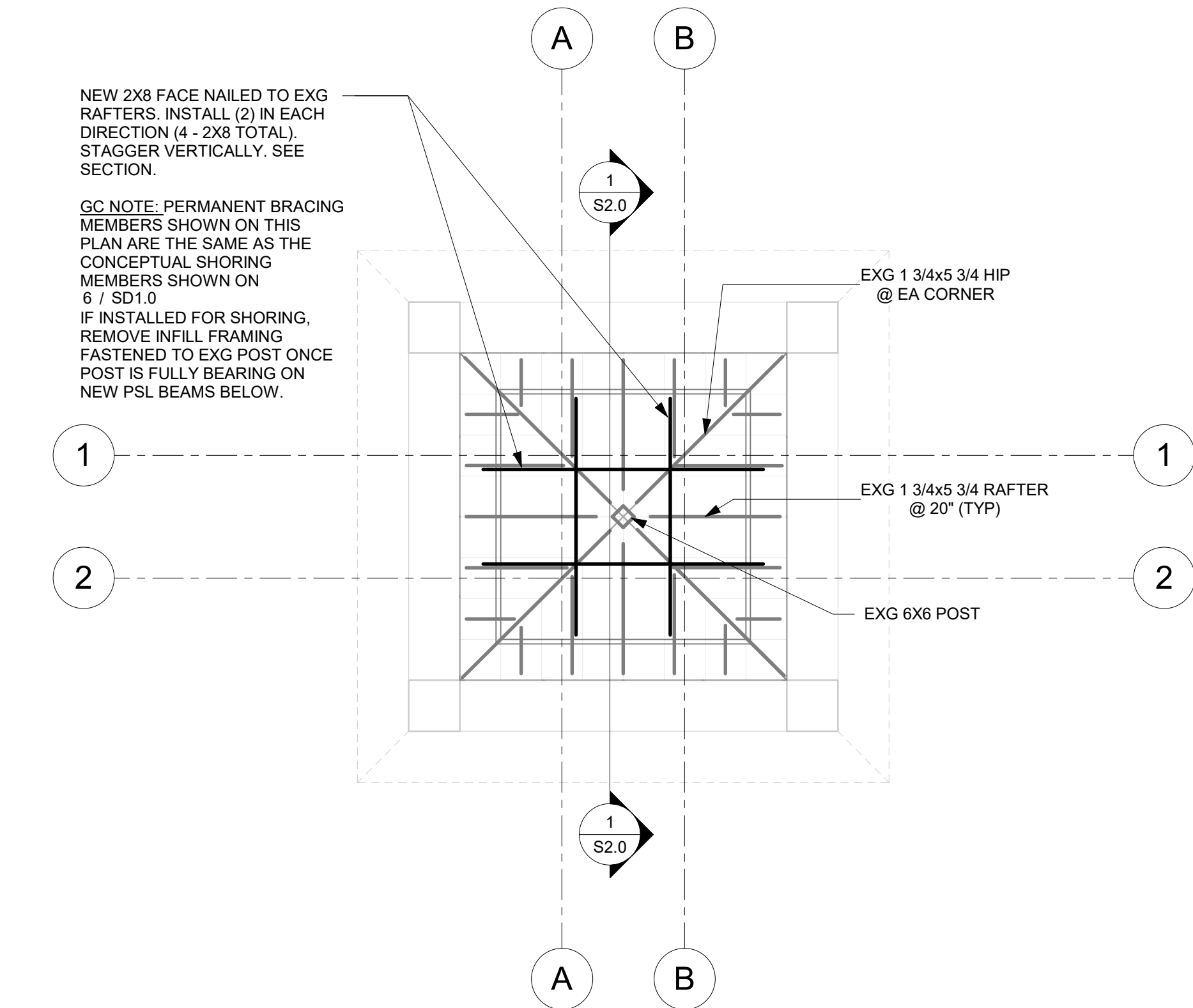
2
S1.0 1/4" = 1'-0"



3
S1.0 1/4" = 1'-0"



4
S1.0 1/4" = 1'-0"



5
S1.0 1/4" = 1'-0"

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SCALE: 1/4" = 1'-0"

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VERT.: _____

GRAPHIC SCALE

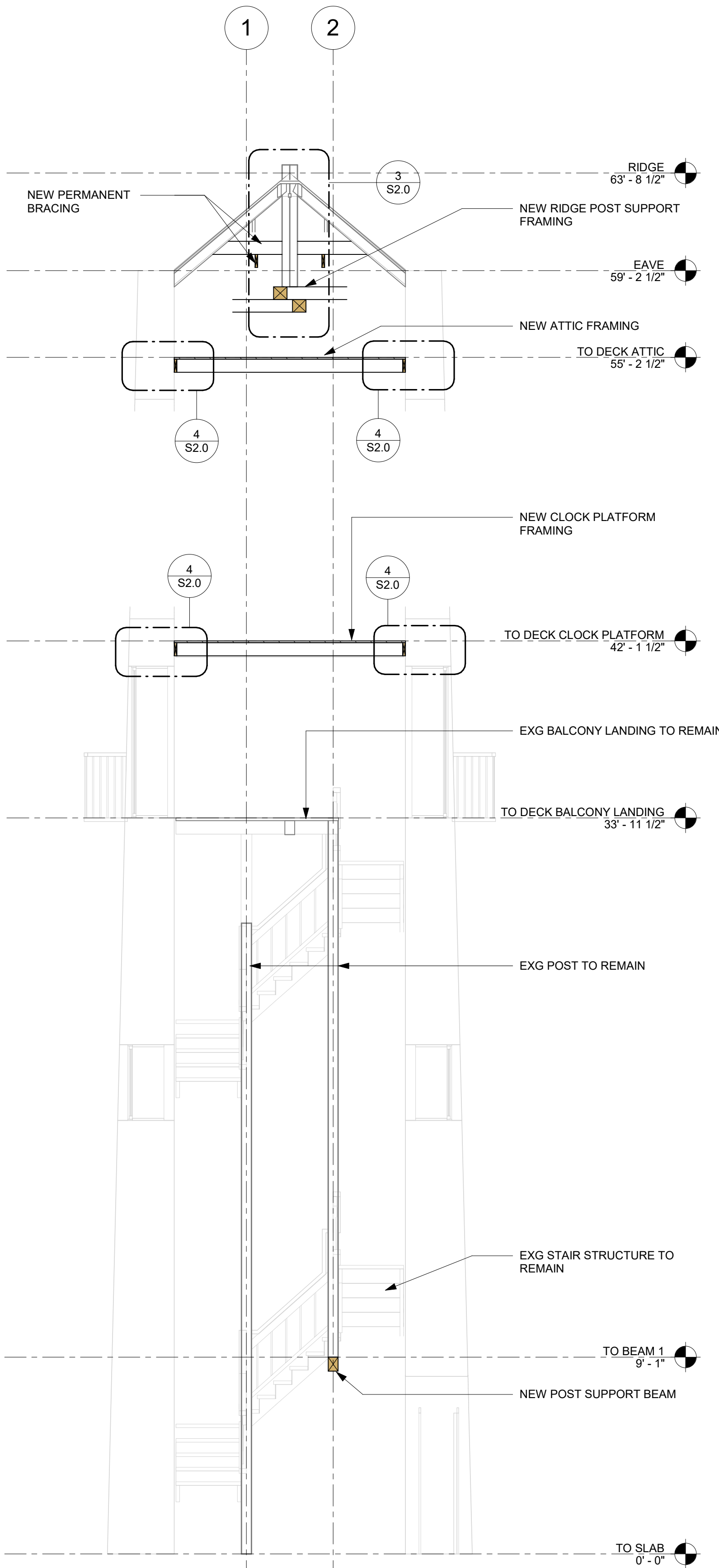
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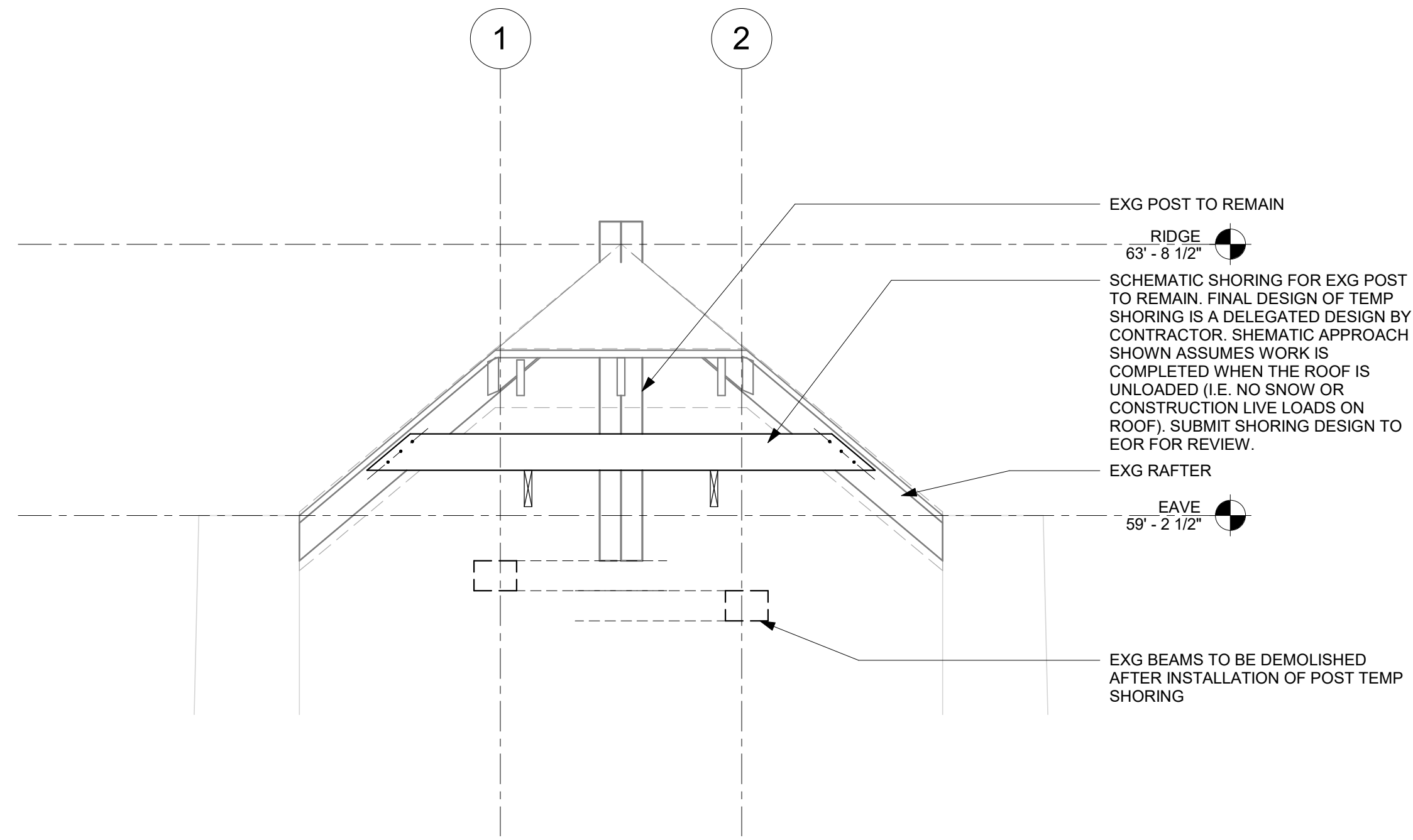
CITY OF CENTRAL FALLS
STRUCTURAL PLANS
JENKS PARK REDEVELOPMENT - PHASE 1
COGSWELL TOWER
CENTRAL FALLS RHODE ISLAND

PROJ. No.: 20170811.A51
DATE: 09/09/2022
S1.0

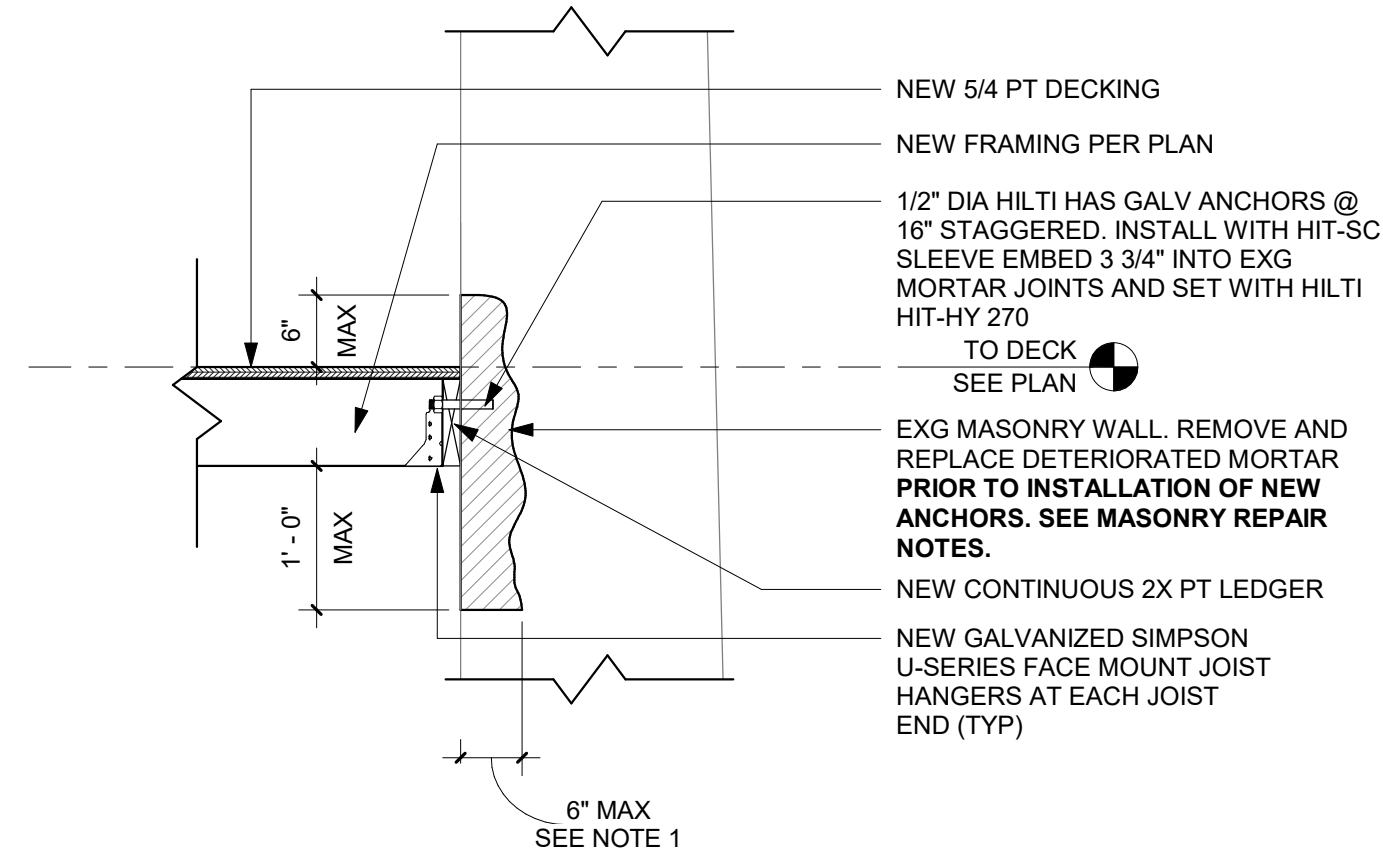
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1 TOWER SECTION
S2.0 1/4" = 1'-0"

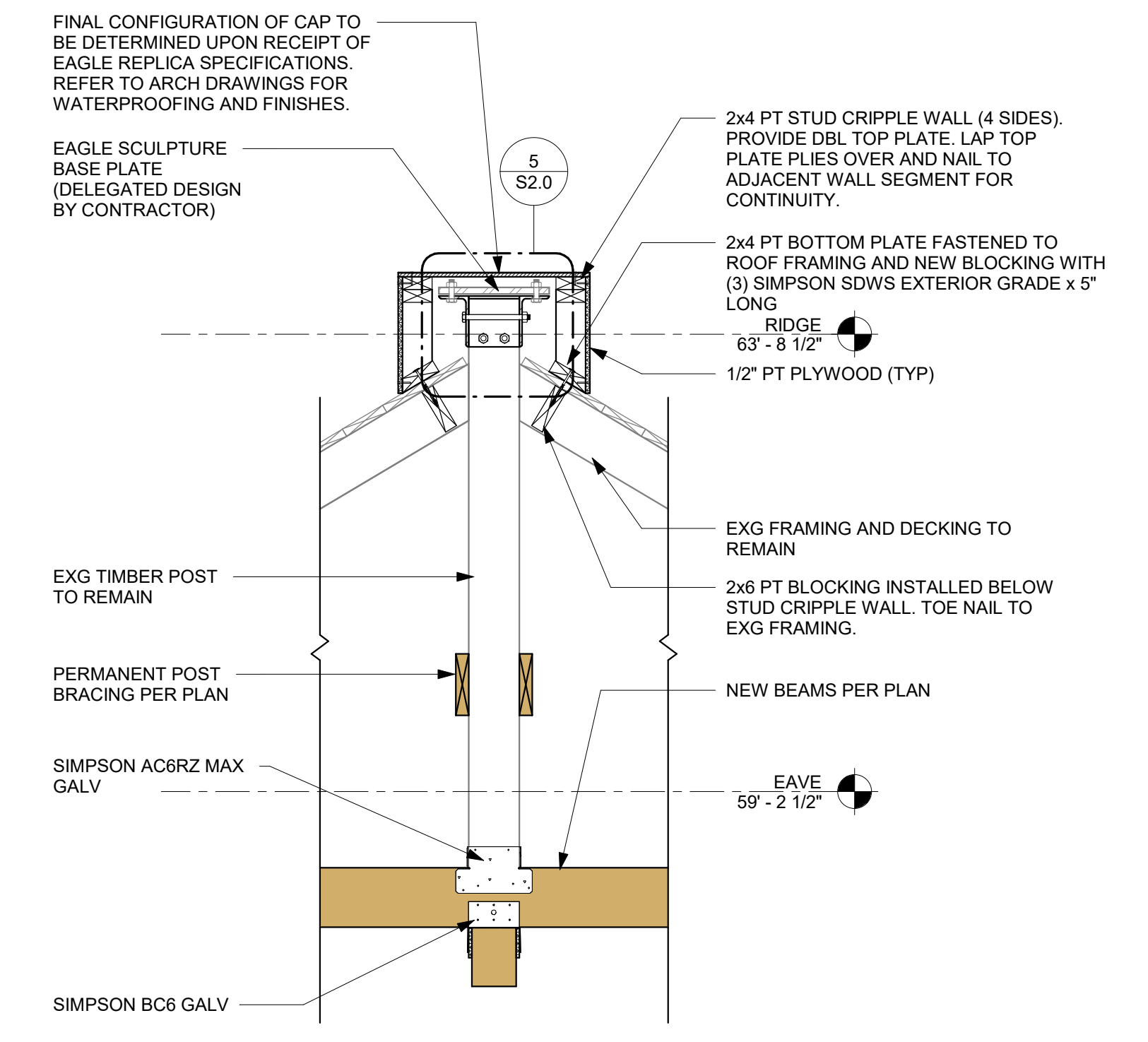


2 SHORING CONCEPT - RIDGE POST
S2.0 1/2" = 1'-0"

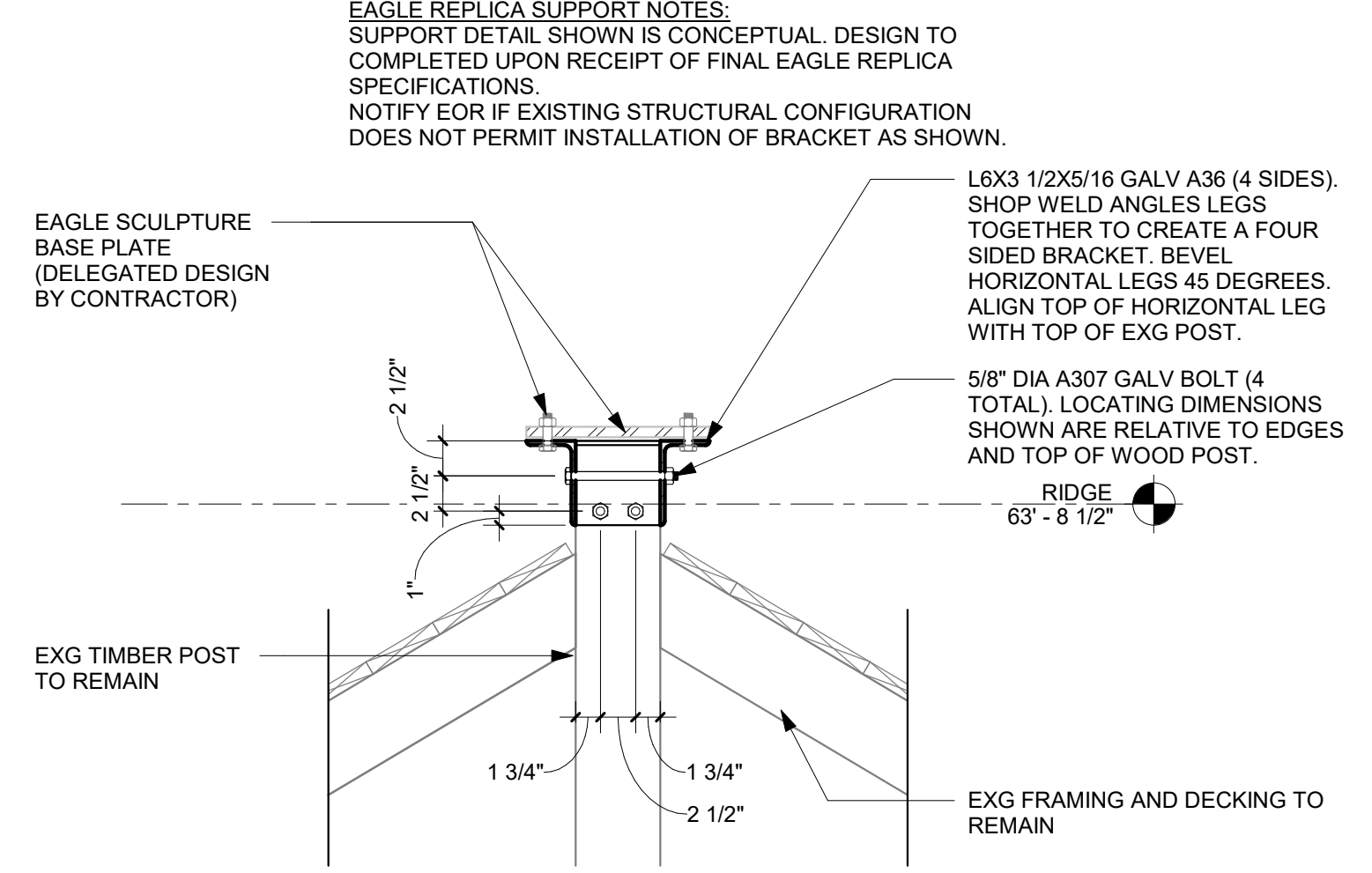


4 TYPICAL LEDGER TO EXG MASONRY DETAIL
S2.0 3/4" = 1'-0"

- MASONRY REPAIR NOTES**
- DEPTH OF REPAIR TO EXTEND TO SOUND MORTAR/STONE MATERIAL. NOTIFY EOR IF DEPTH EXCEEDS 6"
 - REMOVE LOOSE STONES WITHIN LIMITS SHOWN RELATIVE TO PLATFORM ELEVATION. REMOVE LOOSE BINDERLESS SAND BEHIND REMOVED STONES AND REPLACE WITH A TYPE S MORTAR INFILL. RESET LOOSE STONES WITH TYPE S MORTAR.
 - FOR ADDITIONAL INFORMATION, REFER TO MASONRY REPOINTING AND CRACK REPAIR SPECIFICATIONS.



3 EAGLE REPLICA SUPPORT SECTION
S2.0 3/4" = 1'-0"



5 EAGLE REPLICA SUPPORT BRACKET
S2.0 1" = 1'-0"

EAGLE REPLICA SUPPORT NOTES:
SUPPORT DETAIL SHOWN IS CONCEPTUAL. DESIGN TO BE COMPLETED UPON RECEIPT OF FINAL EAGLE REPLICA SPECIFICATIONS.
NOTIFY EOR IF EXISTING STRUCTURAL CONFIGURATION DOES NOT PERMIT INSTALLATION OF BRACKET AS SHOWN.

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

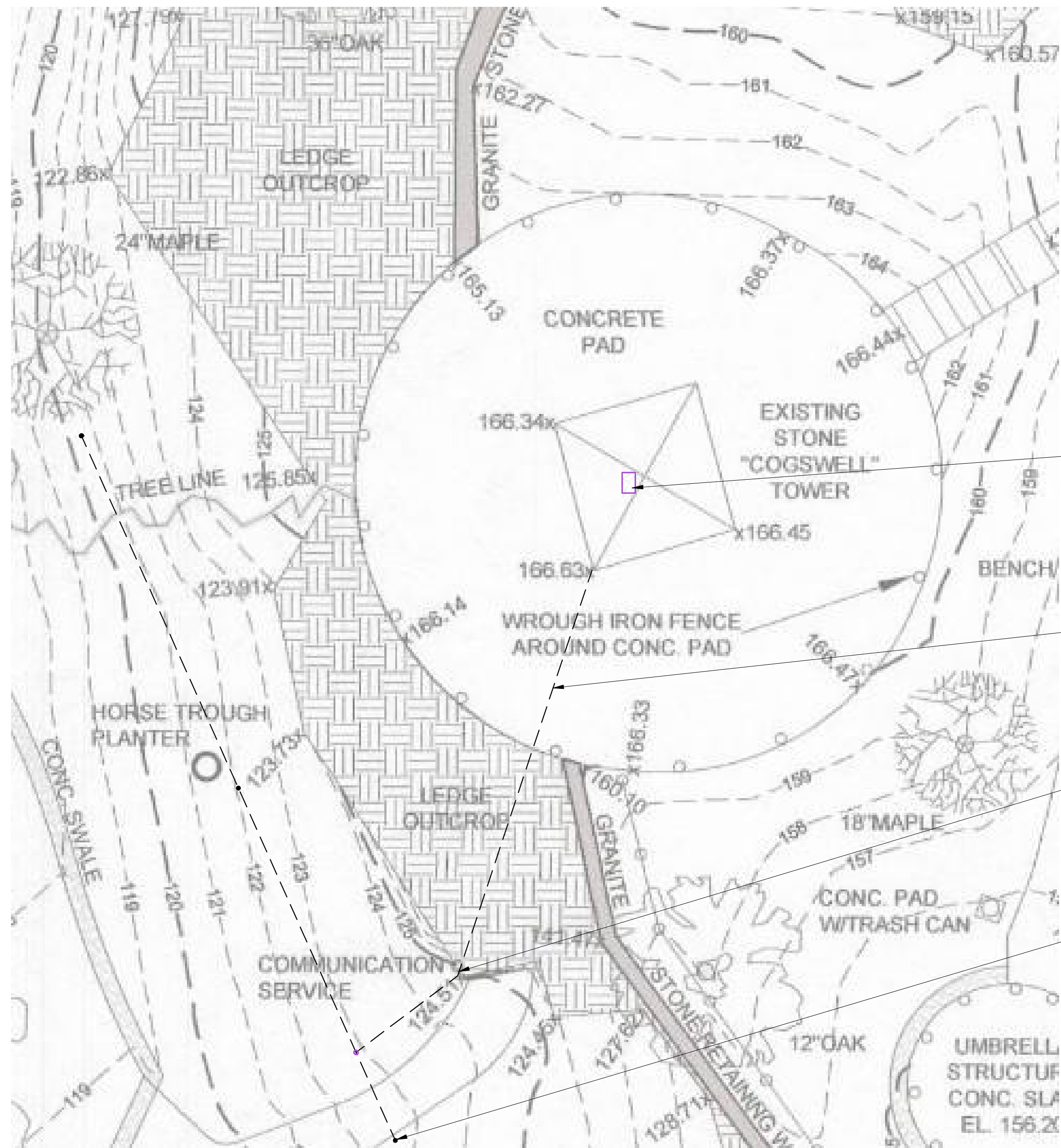
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CITY OF CENTRAL FALLS
STRUCTURAL SECTIONS & DETAILS
JENKS PARK REDEVELOPMENT - PHASE 1
COGSWELL TOWER
CENTRAL FALLS RHODE ISLAND

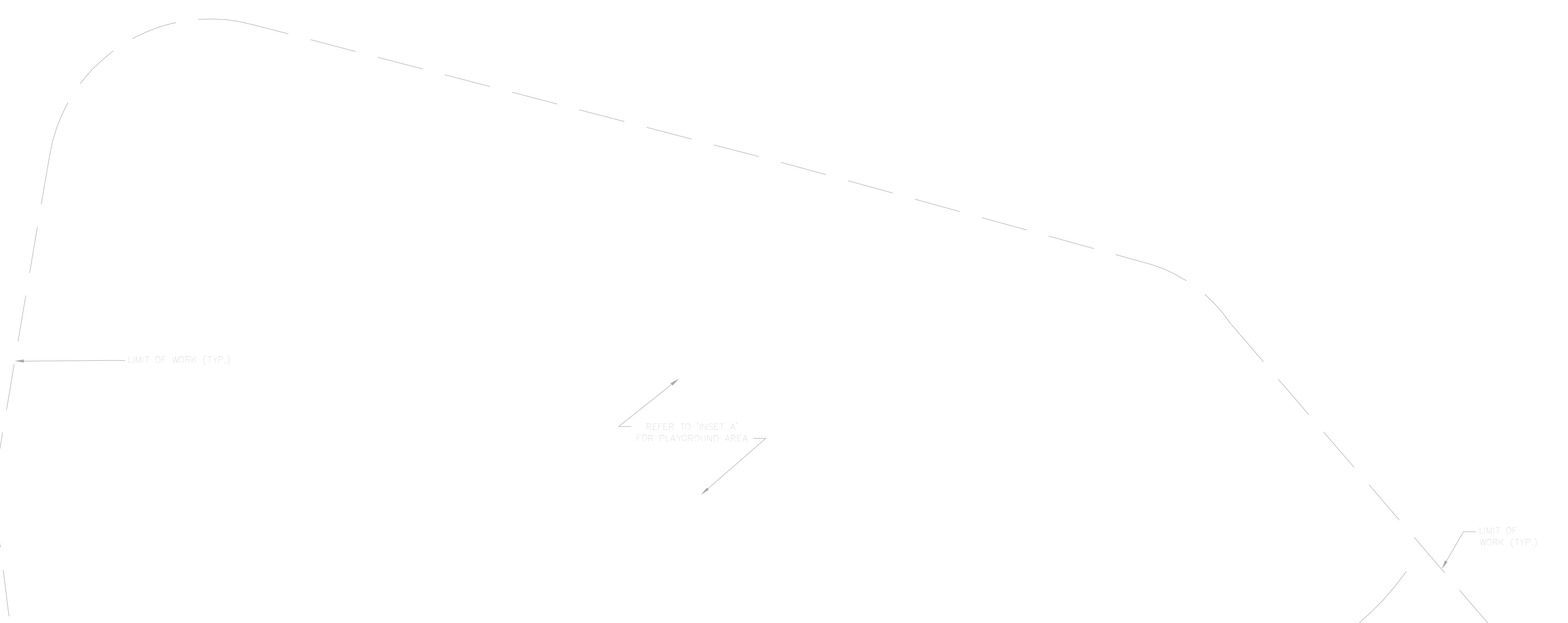
PROJ. No.: 20170811.A51
DATE: 09/09/2022
S2.0

- NOTES:
 1. LIGHTNING PROTECTION SHALL CONFORM TO NFPA 780.
 2. ALL CONNECTIONS SHALL BE EXOTHERMICALLY WELDED.
 3. ALL LIGHTNING CONDUCTORS SHALL BE #2 AWG. BARE.
 INSTALL IN 1" SCH 40 PVC WITHIN TOWER.



1 PARTIAL SITE PLAN
 1" = 10'-0"

- ACCESS HATCH AT FIRST FLOOR LEVEL. SEE ARCHITECTURAL PLANS. RUN DOWN CONDUCTOR THROUGH HATCH TO GROTTO.
- DOWN CONDUCTOR TO RUN THROUGH GROTTO TO EXTERIOR.
- DOWN CONDUCTOR TO ELECTRICAL PENETRATION AND RUN DOWN INTO THE GROUND IN 1" SCH 40 PVC.
- UNDERGROUND LIGHTING CONDUCTOR BURIED 24" BELOW GRADE. CONDUCTOR TO BE 10' OFF OF LEDGE OUTCROP. STRAIGHT LINE LENGTH SHALL BE MINIMUM 80'. PROVIDE 10x3/4" DIA. GROUND RODS AT EACH END AND AT 40'+ INTERVALS.



2 PLAYGROUND ELECTRICAL PLAN
 1" = 1'-0"

- HAND HOLE. SEE DETAIL #5 ON E.5
- 1" SCH 40 PVC WITH PULL STRING.
- LOCATION OF RELOCATED LIGHT POLE AND BASE.
- RELOCATE EXISTING LIGHT POLE AND BASE. BRANCH CIRCUIT TO BE SPLICED. SEE DETAIL #7 ON E.5.
- 1" SCH. 40 PVC WITH PULL STRING.
- 3-#10 AWG., THWN, CU IN 1" SCH. 40 PVC.
- BURIED CONDUIT. SEE DETAIL #6 ON E.5.
- LOCATE HAND HOLE WITHIN 12" OF EXISTING ELECTRICAL SERVICE.
- CONNECT NEW BRANCH CIRCUIT INTO EXISTING PANEL. USE EXISTING CIRCUIT BREAKER.

WASHINGTON STREET

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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

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SCALE: As indicated

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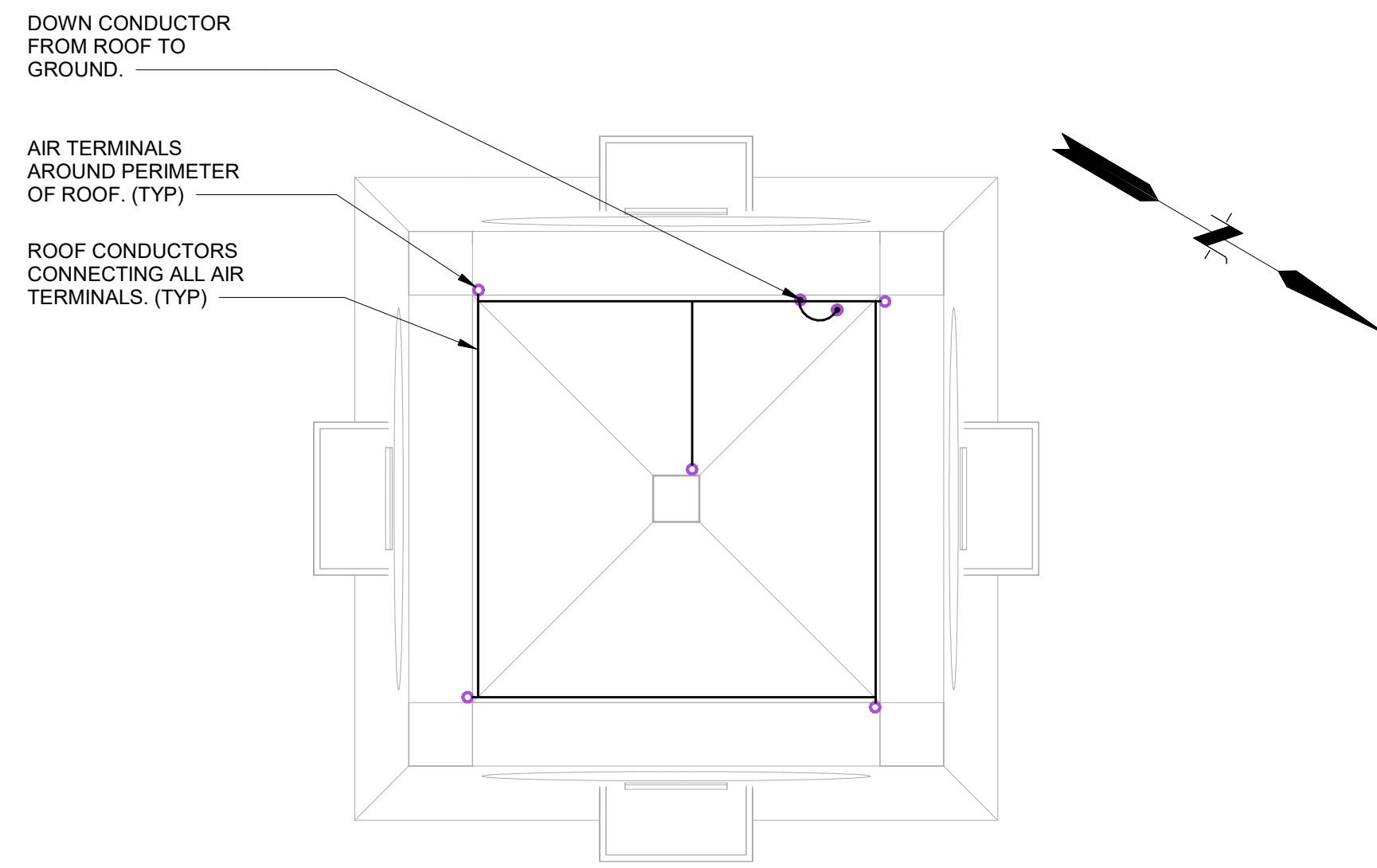
GRAPHIC SCALE

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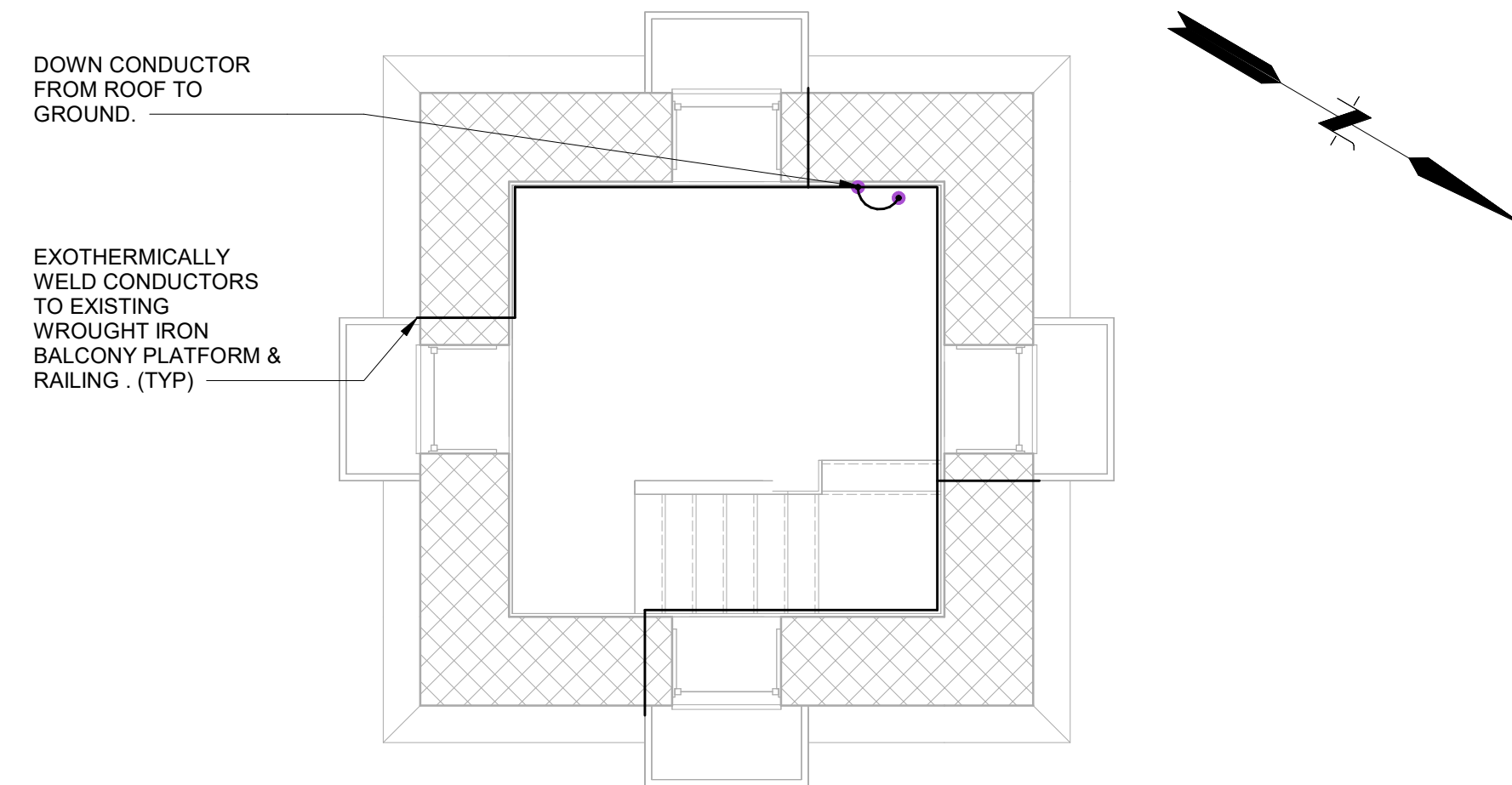
CITY OF CENTRAL FALLS
 PARTIAL SITE PLAN
 602 BROAD STREET
 CENTRAL FALLS, RI

CENTRAL FALLS RHODE ISLAND

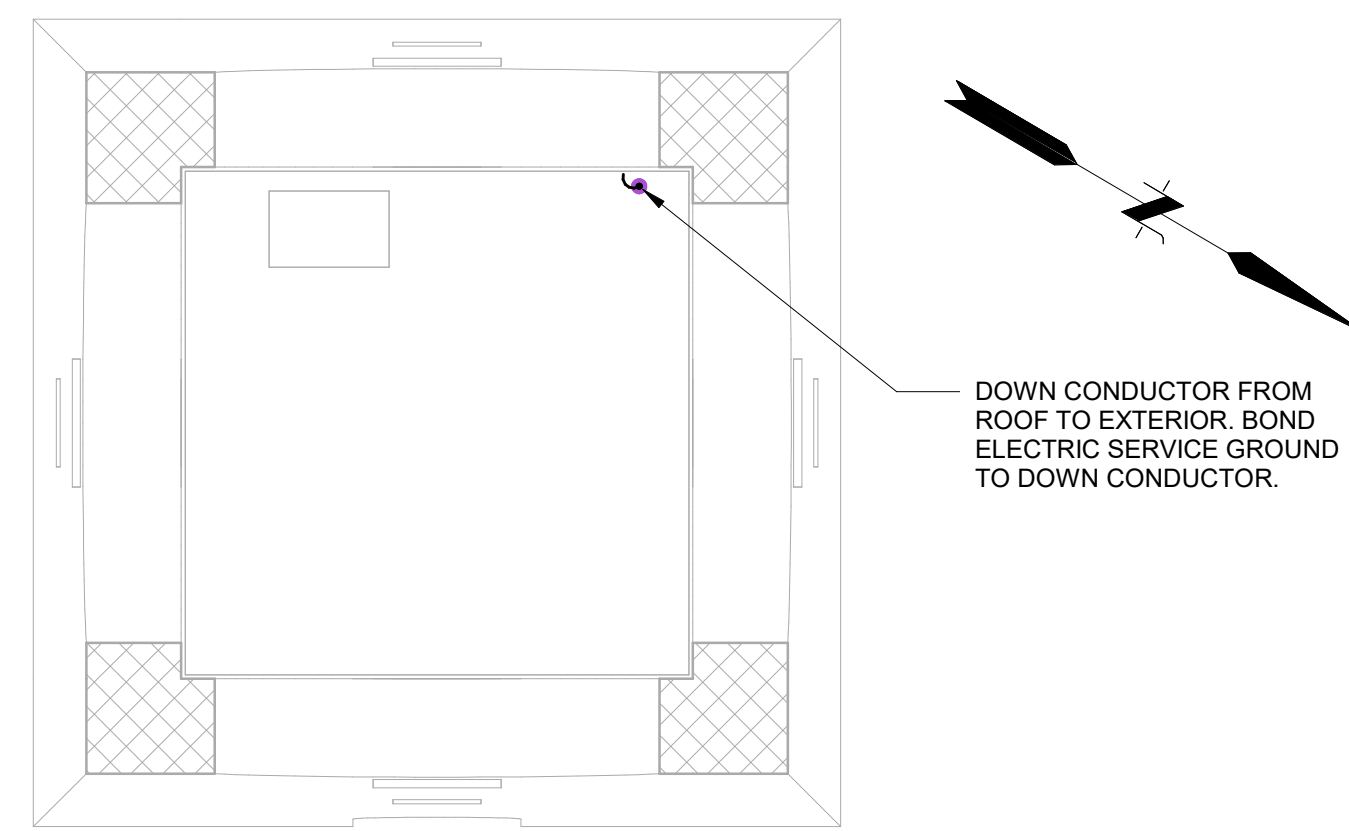
PROJ. No.:	20170811.A51
DATE:	XX/XX/XXXX
E.0	



3 TOWER ROOF LEVEL PLAN
1/4" = 1'-0"

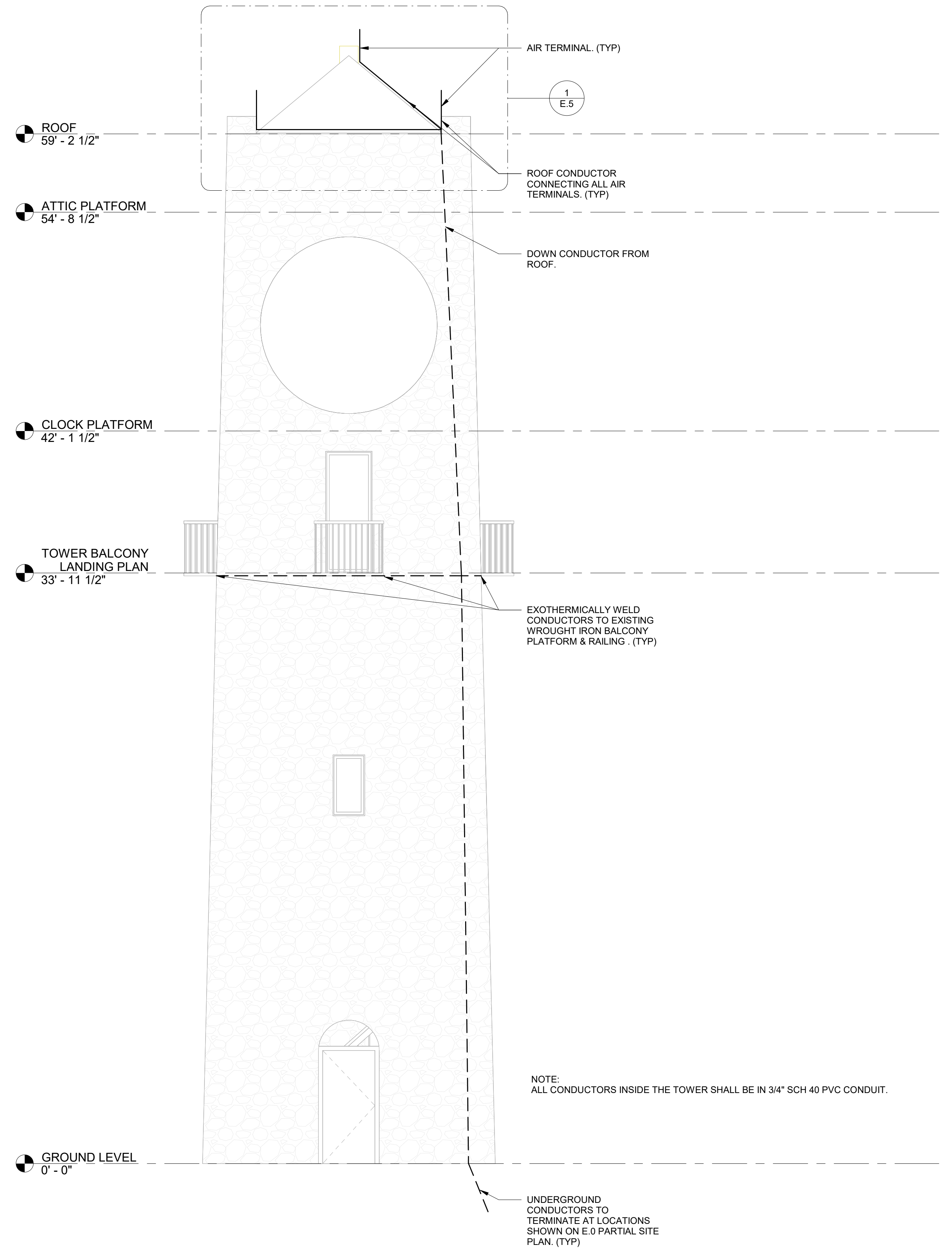


2 TOWER BALCONY LANDING PLAN
1/4" = 1'-0"



1 TOWER GROUND LEVEL PLAN
1/4" = 1'-0"

NOTES:
1. LIGHTNING PROTECTION SHALL CONFORM TO NFPA 780.
2. ALL CONNECTIONS SHALL BE EXOTHERMICALLY WELDED.
3. ALL LIGHTNING CONDUCTORS SHALL BE #2 AWG. BARE. INSTALL IN 1" SCH 40 PVC WITHIN TOWER.



4 SOUTH ELEVATION
1/4" = 1'-0"

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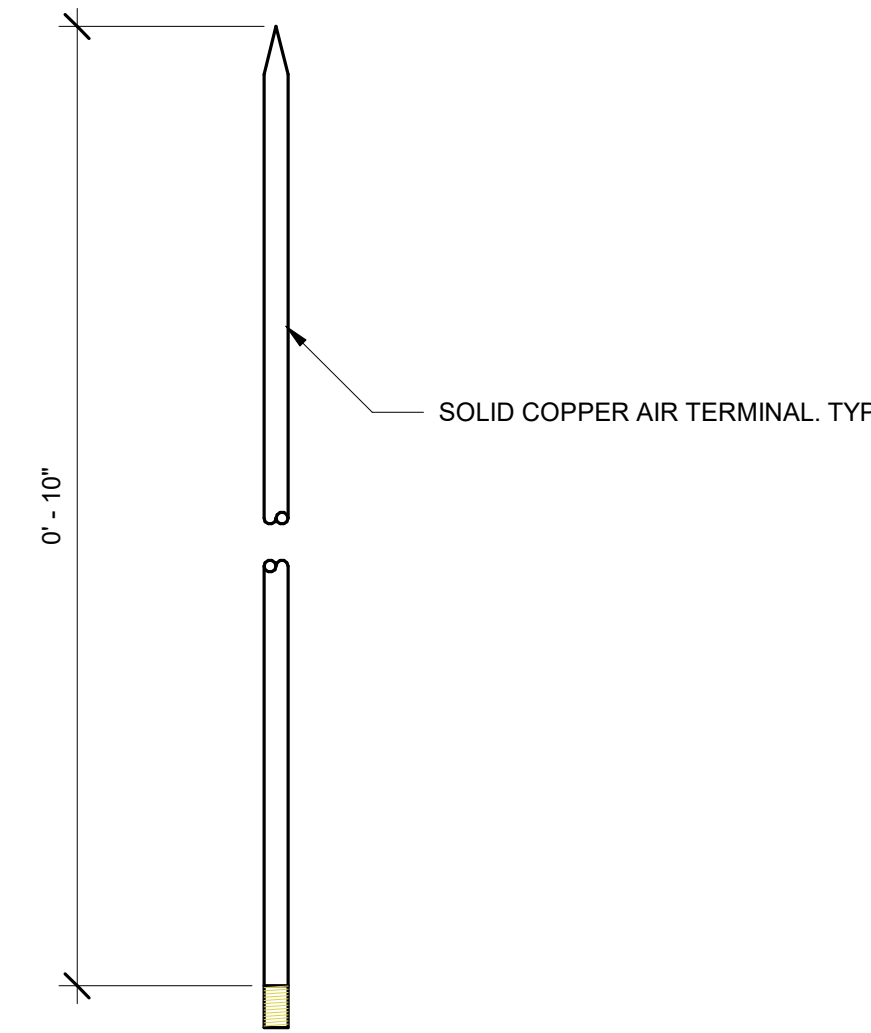
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SCALE:	1/4" = 1'-0"
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GRAPHIC SCALE	

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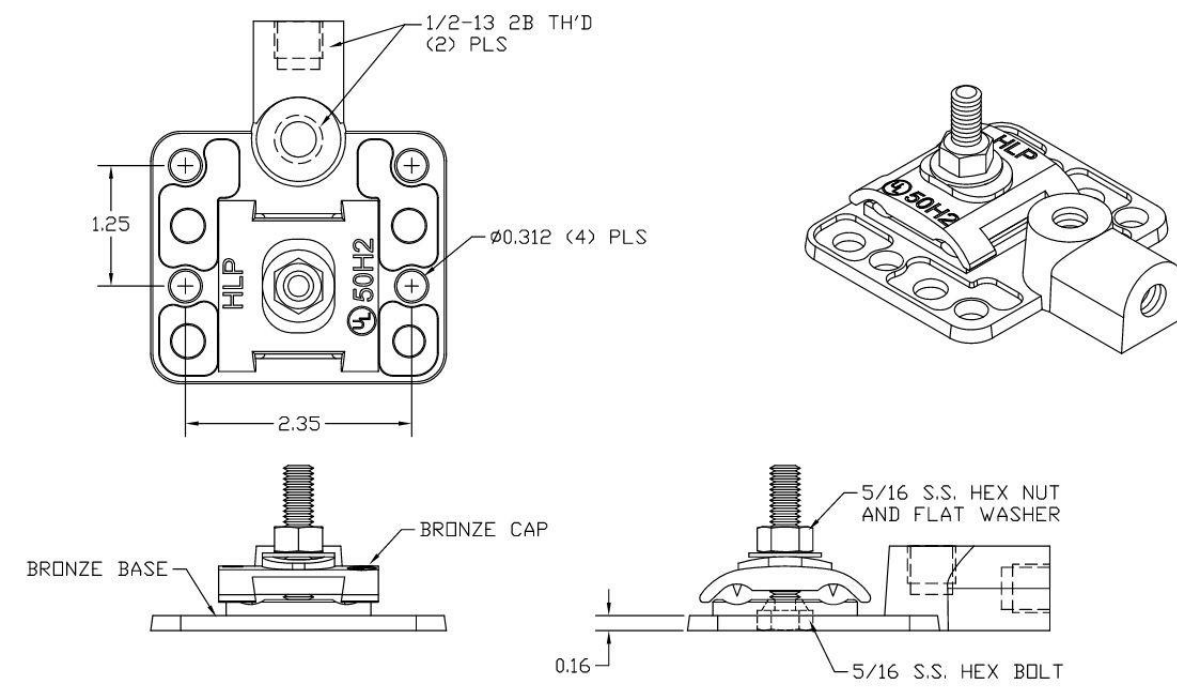
CITY OF CENTRAL FALLS
LIGHTNING PROTECTION PLAN
602 BROAD STREET
CENTRAL FALLS, RI
CENTRAL FALLS RHODE ISLAND

PROJ. No.: 20170811.A51
DATE: xx/xx/xxxx
E.1



NOTE: HEIGHT OF AIR TERMINAL SHALL BE MINIMUM 10' ABOVE LOCATION PROTECTED.

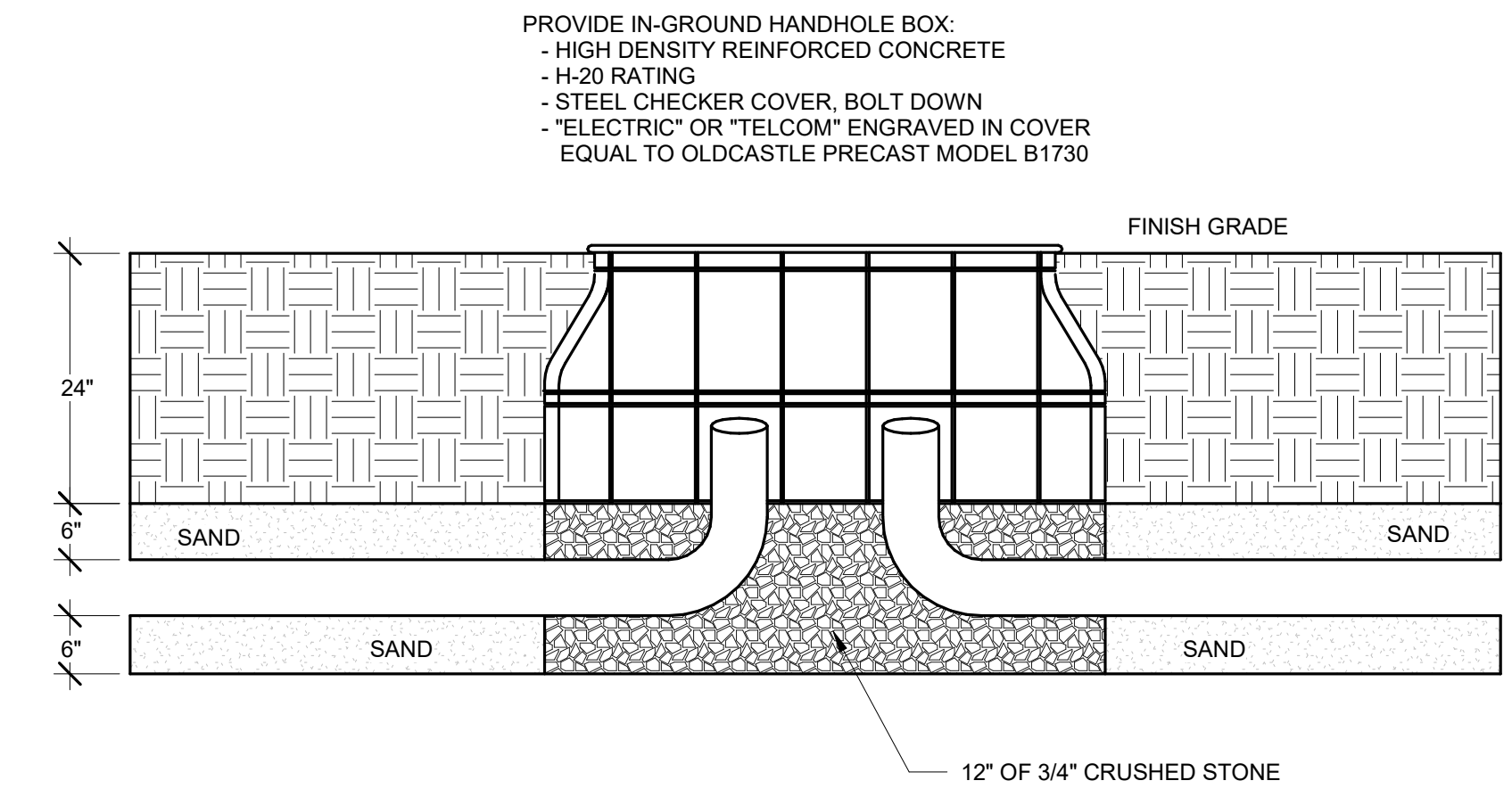
2 AIR TERMINAL
NTS



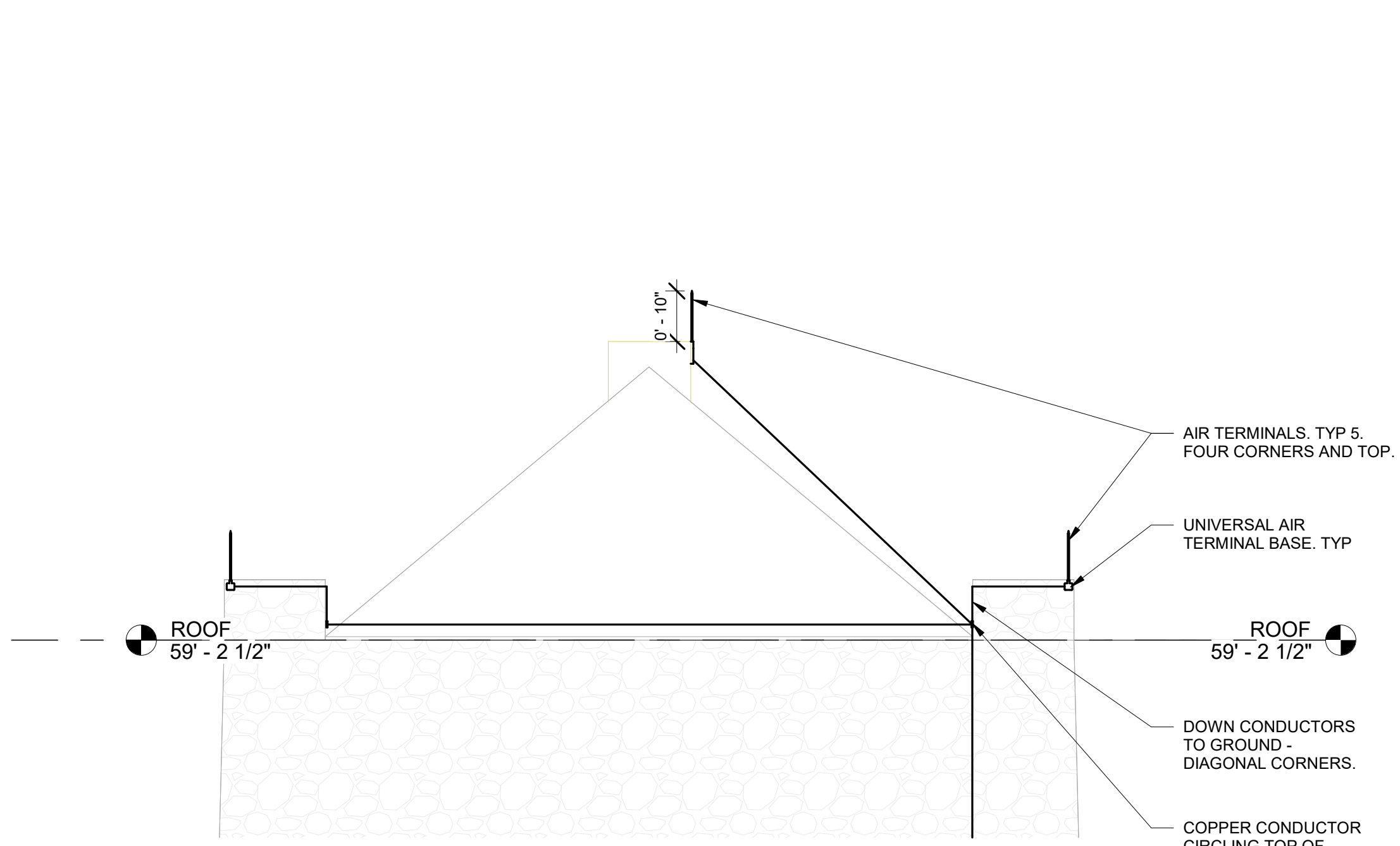
3 UNIVERSAL BASE
NTS



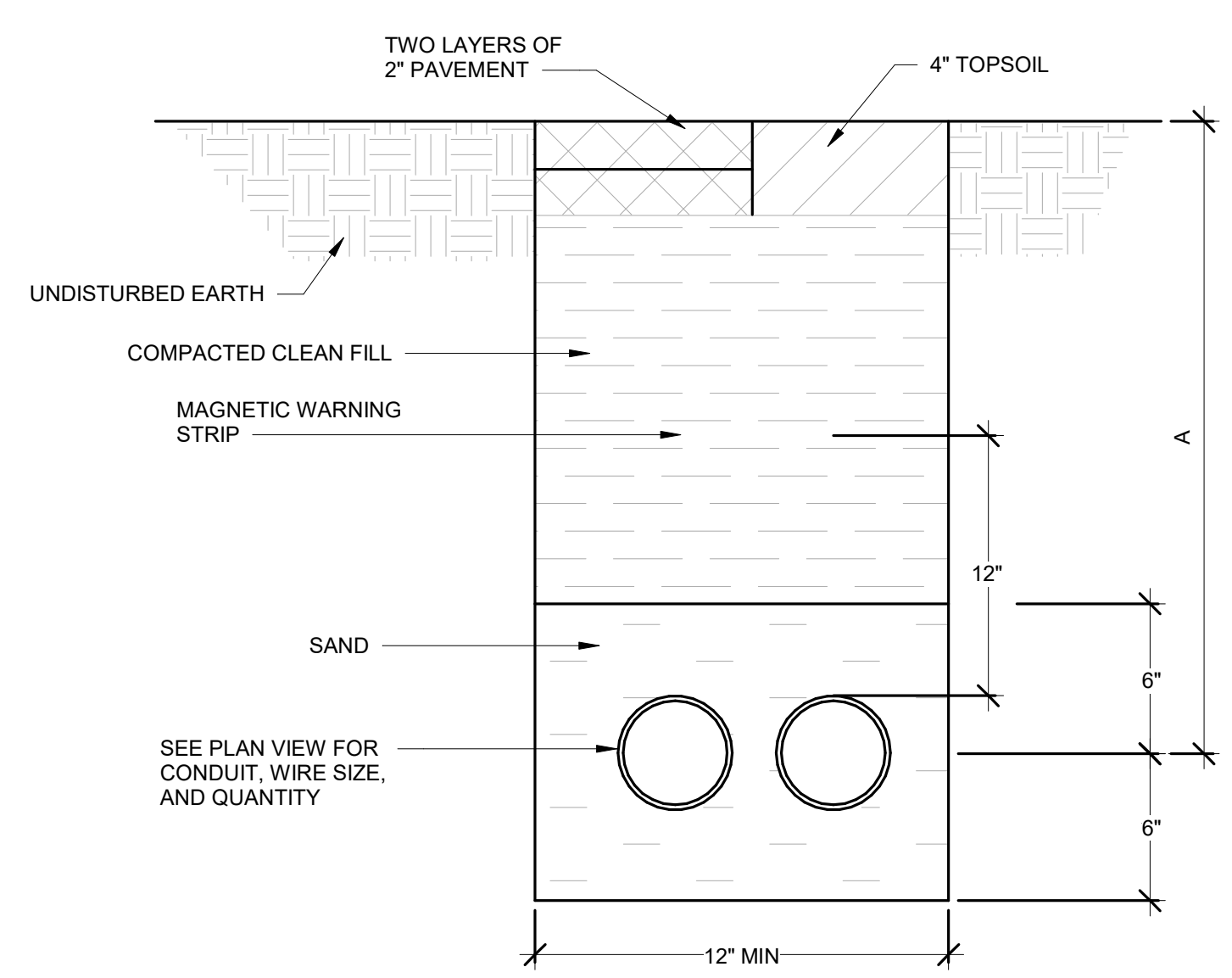
4 CONDUCTOR AT DOOR
NTS



5 HAND HOLE
NTS



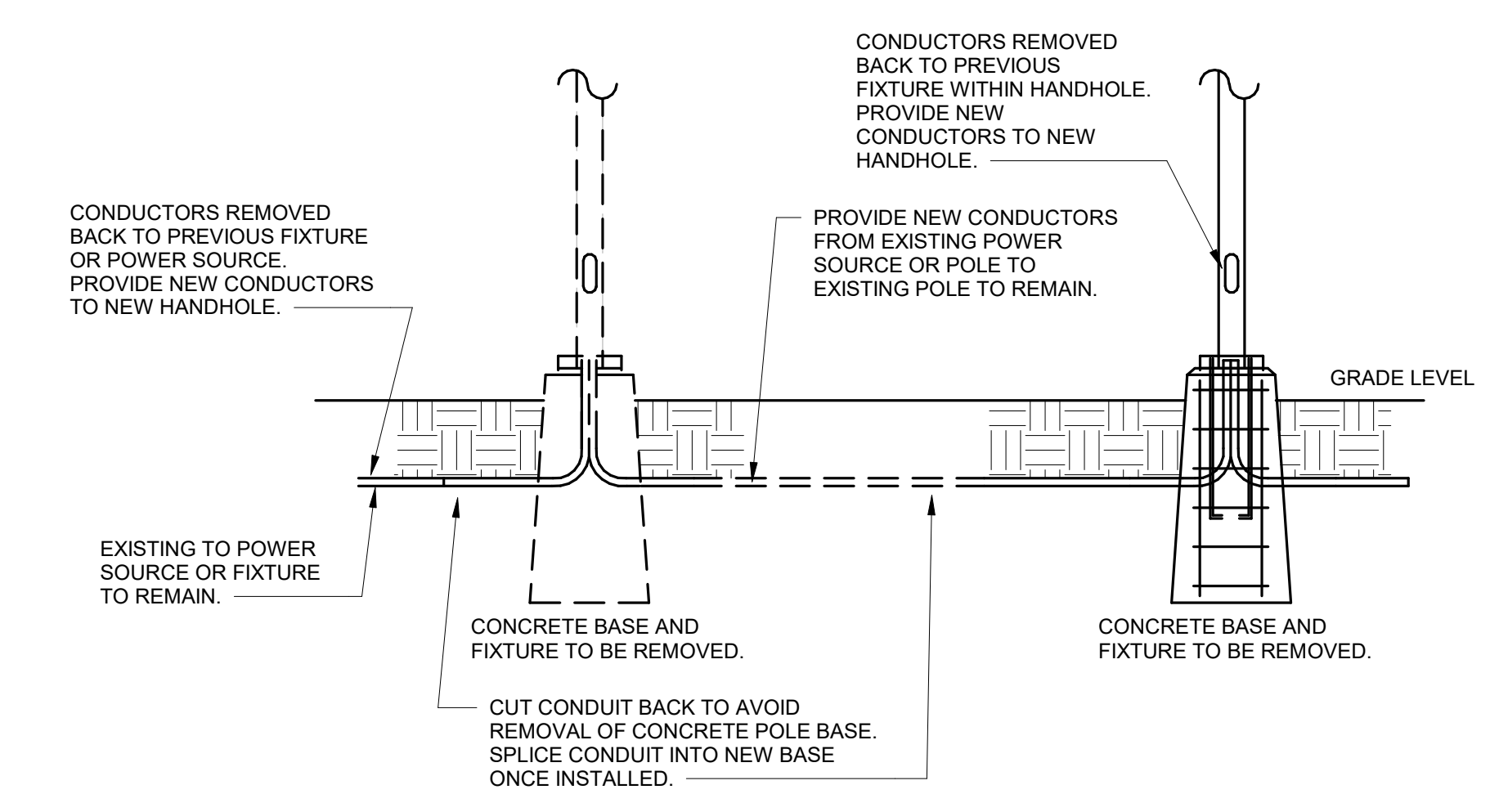
1 ROOF DETAIL
1/2" = 1'-0"



CONDUIT DEPTHS	
SERVICE	DIM "A"
SITE LIGHTING	24"

NOTE: WHEN MULTIPLE CONDUITS ARE BURIED TOGETHER THERE SHALL BE A MINIMUM OF 2" CLEARANCE BETWEEN CONDUITS.

6 BURIED CONDUIT
NTS



7 LIGHT POLE
NTS

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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

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CITY OF CENTRAL FALLS
LIGHTNING PROTECTION DETAILS
602 BROAD STREET
CENTRAL FALLS, RI
CENTRAL FALLS RHODE ISLAND

PROJ. No.: 20170811.A51
DATE: xx/xx/xxxx
E.5